

The Corporation of the Township of Southgate
By-law Number 2020-118

Being a by-law to authorize the execution of a Site Plan Control Agreement

Whereas Section 41 of the Planning Act, RSO 1990, Chapter P.13 as amended authorizes municipalities to designate areas of Site Plan Control, and to subsequently enter into agreements with respect to the conditions of development or redevelopment of lands in areas of Site Plan Control; and

Whereas all of the lands within the Township are designated as a Site Plan Control Area pursuant to the provisions of Section 41 of the Planning Act and By-law 2007-47; and

Whereas the Council of the Township of Southgate deems it expedient to enter into a Site Plan Agreement with the owner,

Now therefore be it resolved that the Council of the Corporation of the Township of Southgate enacts as follows:

1. **That** a Site Plan Agreement between the 2625635 Ontario Inc. and the Township of Southgate for the development of the lands described as Plan 480 BLK E Pt lot 19 Proton St E, geographic Village of Dundalk in the Township of Southgate is authorized. Such agreement being attached hereto as Schedule "A" and which forms a part of this by-law;
2. **That** the Mayor and Clerk are authorized to sign the Site Plan Agreement on behalf of the Council of the Corporation of the Township of Southgate in substantially the form as that set out in Schedule A;
3. **That** the Clerk is authorized and directed to cause notice of the Site Plan Agreement to be registered on the title to the said lands forthwith after it has been signed by all parties; and
4. **That** this By-law shall come into full force and effect upon the final passing hereof.

Read a first and second time this 7th day of October 2020.

Read a third time and finally passed this 7th day of October 2020.

Mayor – John Woodbury

Clerk- Lindsey Green

THE CORPORATION OF
THE TOWNSHIP OF SOUTHGATE

SITE PLAN AGREEMENT

THIS AGREEMENT made in triplicate this _____ day of _____, 2020

Between: 2625635 Ontario Inc.

(hereinafter called the "OWNERS" OF THE FIRST PART)

- and -

THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE

(hereinafter called the "TOWNSHIP" OF THE SECOND PART)

WHEREAS the OWNERS represents that they are the owners of these lands and premises in the Township of Southgate in the County of Grey, being more particularly described in s Schedule "A"

AND WHEREAS the OWNERS have applied to the TOWNSHIP to permit development on the OWNER'S lands;

AND WHEREAS the Encumbrancer(s) (if any) hold registered security interests in the lands and all Encumbrancers of the lands are included as parties to this Agreement

AND WHEREAS the OWNERS have agreed with the TOWNSHIP to furnish and perform the works, material, matters and things required to be done, furnished and performed in the manner hereinafter described in connection with the proposed use of the subject lands;

AND WHEREAS the said lands have been designated by the Council of the TOWNSHIP as being within a site plan control area as provided by Section 41 of the Planning Act, R.S.O. 1990, as amended;

NOW THEREFORE witnesseth that in consideration of other good and valuable consideration and the sum of one -----(\$1.00)-----DOLLAR of lawful money of Canada now paid by the TOWNSHIP to the OWNER, the receipt whereof is hereby acknowledged, the OWNERS and the TOWNSHIP covenant, declare and agree as follows:

SECTION 1 - LANDS TO BE BOUND

1. The lands to be bound by the terms and conditions of this Agreement (sometimes referred to as "the subject lands"), are located in the geographic Village of Dundalk, in the TOWNSHIP OF SOUTHGATE, and are more particularly described in Schedule "A".

SECTION II - COMPONENTS OF THE AGREEMENT

1. The text and the following Schedules, which are annexed hereto, constitute the components of this Agreement.

Schedule "A" - Legal Description of the Lands being developed.

Schedule "B" - Site Plan(s)

SECTION III - REGISTRATION OF AGREEMENT

1. This Agreement shall be registered on title to the said lands as provided for by Section 41(10) of the Planning Act, R.S.O., 1990, as amended, at the expense of the OWNERS;
2. The OWNERS agree that all documents required herein shall be submitted in a form suitable to the TOWNSHIP and suitable for registration, as required;
3. The PARTIES agree that this Agreement must be registered against the OWNERS' lands within forty-five (45) days of the execution thereof by both parties.

SECTION IV - BUILDING PERMITS

1. The OWNERS agree to not request the Chief Building Official to issue any further building permits to carry out the development until this Agreement has been registered on title to the lands described in Schedule "A" attached hereto and a registered copy of same has been provided to the Township.
2. It is agreed that if the OWNERS fail to apply for any building permit or permits to implement this Agreement within 12 months from the date upon which such building permit would be available, then the TOWNSHIP, at its option has the right to terminate the said Agreement and require that a new Site Plan Agreement be submitted for approval and execution.

SECTION V - PROVISIONS

1. **THIS AGREEMENT** applies to works related to the entire subject lands and includes the exterior of existing buildings, new structures, drainage and servicing and entrance as required. Agricultural and residential uses are not applicable to a Site Plan Agreement in accordance with section 41 of the Planning Act and By-law 2007-47.
2. **The OWNERS** further covenant and agree to develop the subject lands in accordance with the Site Plan being Schedule "B" attached hereto, and that no work will be performed on the subject lands except in conformity to all provisions of this Agreement.
3. **THE OWNERS** agree to carry out on the lands at the work, and to construct, install and maintain at its expense all of the services, works and facilities stipulated, described by words and numbers, and shown in and upon the following Plans, that is:
 - (i) Submitted Site Plan Drawings;which Plan is hereinafter called "the Site Plan". Notwithstanding the generality of the foregoing the requirements under this agreement include all of the notes and printed text contained in and on the Plans making up the Site Plan.
4. *Further Description of Work and Location of Site Plan.* Without limiting the generality of the foregoing, all of the specifications and said requirements contained in the said Site Plan, which is on file at Southgate's Municipal Office, shall be adhered to and satisfied by the Owner to the satisfaction of Southgate.
5. *Exterior Fascia.* The exterior of the building shall be developed in accordance with the attached Elevation plans.
6. *Storm Drainage -- General.* Notwithstanding the foregoing, the Owner agrees that the storm drainage system on and for the lands shall be designed and constructed to the satisfaction of Southgate at the expense of the Owner. Upgrades to the system may be required. The Stormwater piping on the south side of the property shall be required to accept the water from the adjacent building downspout.

7. *Entrance.* The entrance to the property is from Proton Street North. All development, including curb cuts and entrance permits shall be obtained as required from the Township.

8. *Fire Suppression.* The owner agrees to install all necessary servicing and equipment on the property for firefighting and fire suppression, at the owners expense.

9. *Servicing.* The owner is responsible for ensuring that all services including, natural gas, hydro, water and sanitary sewer connections are made to the site at the owners expense prior to occupancy. Any relocation of said services will be at the owners expense.

10. *Landscaping.* The use of small landscape trees and planter boxes is encouraged on the property, but not required. A small bike rack or lock up post shall be required to be placed on the site prior to occupancy.

11. *Outside Storage.* Outside storage is not permitted on the property.

12. *Dust Control Measures.* The owner agrees to provide for dust control measures such as calcium and water, to mitigate impacts as required by the Township of Southgate. These measures will be required for those areas of the site not asphalted or seeded with grass.

13. *Lighting.* All exterior lighting must be dark sky compliant. It must be pointed downward and remain internal to the site in accordance with the Township of Southgate Standards. Signs that are back lit will not be permitted.

14. *Postponement and Subordination of Encumbrances.* The Owner covenants and agrees, at its own expense, to obtain and register such documentation from its mortgagees or those holding encumbrances as may be deemed necessary by Southgate to postpone and subordinate their interest in the lands to the interest of Southgate to the extent that this Agreement shall take effect and have priority as if it have been executed and registered prior to the execution and registration of any such mortgages or encumbrances.

15. *Southgate's Professional Fees and Disbursements.* The Owner shall reimburse Southgate for all of its engineering and legal expenses (professional fees and disbursements) in connection with the development and implementation of this Agreement.

16. *Waiver.* The failure of Southgate at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by Southgate of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Southgate shall specifically retain its rights at law to enforce this Agreement.

17. *No Challenge to the Agreement.* The parties covenant and agree with each other not to call into question or challenge, directly or indirectly, in any proceeding or action in court, or before any administrative tribunal, the parties' right to enter into and force this Agreement. The law of contract applies to this Agreement and the parties are entitled to all remedies arising from it, notwithstanding any provisions in Section 41 of the Planning Act interpreted to the contrary. The parties agree that adequate consideration has flowed from each party to the other and that they are not severable. This provision may be pleaded by either party in any action or proceeding as an estoppel of any denial of such right.

18. *Enforcement.* The Owner acknowledges that Southgate, in addition to any other remedy it may have at law, may also be entitled to enforce this Agreement in accordance with Section 446 of the *Municipal Act, 2001* as amended.

19. *Mediation.* Without affecting Southgate's statutory right under subsection 41(11) of the said *Planning Act* to, at its complete discretion, invoke the provisions of Section 446 of the *Municipal Act, 2001* as amended regarding any applicable requirement herein in which case this paragraph shall be inoperative and inapplicable, in the event that a dispute relating to this Agreement or its implementation arises that cannot be resolved by negotiation between the parties, the parties agree to use the services of a mediator to attempt to resolve their differences and failing agreement on the procedure to be followed, it shall be conducted in accordance with the rules of procedure for the conduct of mediations of the ADR Institute of Ontario Inc. or its successor body.

20. *Registration.* The Owner consents to the registration of this Agreement or Notice of this Agreement by Southgate on the title to the lands.

21. *Enurement Clause.* The covenants, agreements, stipulations, declarations and provisions contained herein shall run with the lands and shall be binding upon the Owner and its successors and assigns and the benefit thereof shall enure to Southgate and its successors and assigns.

SECTION VI - BINDING PARTIES, ALTERATION, AMENDMENT, EFFECT, NOTICE, PENALTY

1. This Agreement may only be amended or varied by a written document of equal formality herewith duly executed by the parties hereto and registered against the title to the subject lands.

2. The OWNER further agrees to complete the items detailed on Schedule "B" within three (3) years of the date of registration of this Agreement.

3. Following completion of the works, the OWNER shall maintain to the satisfaction of the TOWNSHIP, and at the sole expense of the OWNER, all the facilities or works described in Schedule "B".

4. This Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of each of the PARTIES hereto.

5. The Agreement shall come into effect on the date of execution by the TOWNSHIP.

6. The OWNER acknowledges that this Agreement is entered into under the provisions of Section 41(7)(c) of the Planning Act, R.S.O., 1990, as amended.

7. Any notice required to be given pursuant to the terms hereto shall be in writing and mailed or delivered to the other at the following address:

To the OWNER: 2625635 Ontario inc.
 47 Main St S
 Georgetown, ON. L7G362

To the TOWNSHIP: Clerk
 Township of Southgate
 185667 Grey Rd 9,
 Dundalk, ON.
 NOC 1B0

IN WITNESS WHEREOF the corporate parties have executed this Agreement by affixing thereto their corporate seals, as attested by the hand of their proper signing officers duly authorized in that behalf.

AND IN WITNESS WHEREOF the natural parties hereto have hereunto set their hands and seals. Signing authorized by by-law 2020-118.

SIGNED, SEALED AND
DELIVERED

) {OWNERS' NAMES}

)

)

)

)

in the presence of:

)

)

)

) Per: _____

)

Witness

)

)

) Per: _____

)

) Date: _____

)

Witness

)

**THE CORPORATION OF THE
TOWNSHIP OF SOUTHGATE**

)

)

)

) Per: _____

)

John Woodbury, Mayor

)

)

) Per: _____

)

Lindsey Green, Clerk

)

) Date: _____

)

) We have authority to bind the corporation

Schedule "A"

THE LAND

All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Southgate, in the County of Grey and Province of Ontario, and being composed of:

**Plan 480 BLK E Pt lot 19, Proton E, in the Geographic
Village of Dundalk, Township of Southgate**

Schedule "B"

SITE PLANS

Drawing #1. Dated October 7th, 2020 and signed by the planner

Drawing #2. Dated October 7th, 2020 and signed by the planner

Drawing #3. Dated October 7th, 2020 and signed by the planner

Drawing #4. Dated October 7th, 2020 and signed by the planner

Drawing #5. Dated October 7th, 2020 and signed by the planner

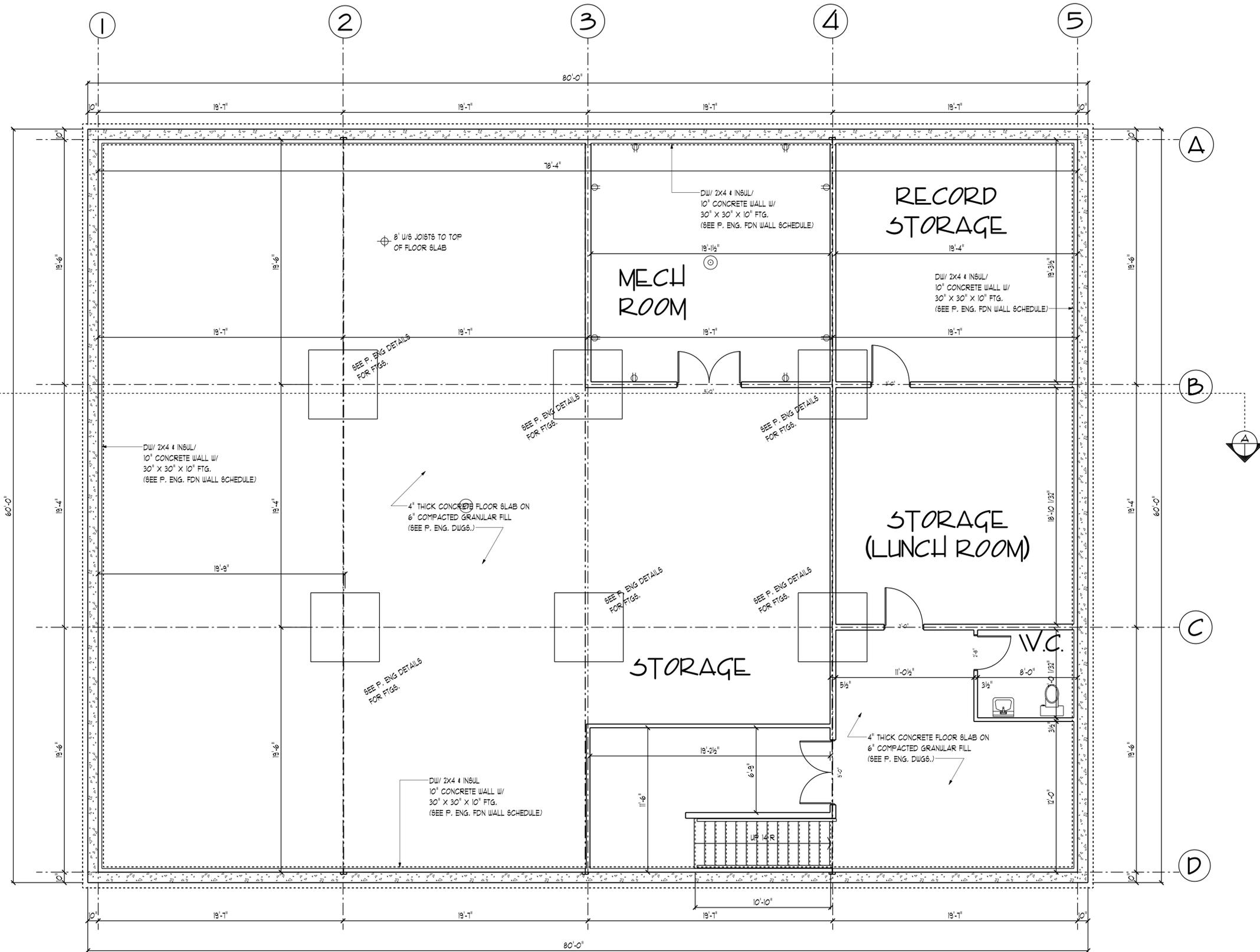
Drawing #6. Dated October 7th, 2020 and signed by the planner

Drawing #7. Dated October 7th, 2020 and signed by the planner

Drawing #8. Dated October 7th, 2020 and signed by the planner

Drawing #9. Dated October 7th, 2020 and signed by the planner

Drawing #10. Dated October 7th, 2020 and signed by the planner



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O. REG. 1970) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) & STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.1 of Division C of the OBC. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
BCIN #102156
Bev Gray
BCIN #25342

Bev Gray M.A.A.T.O.
Architectural Technologist

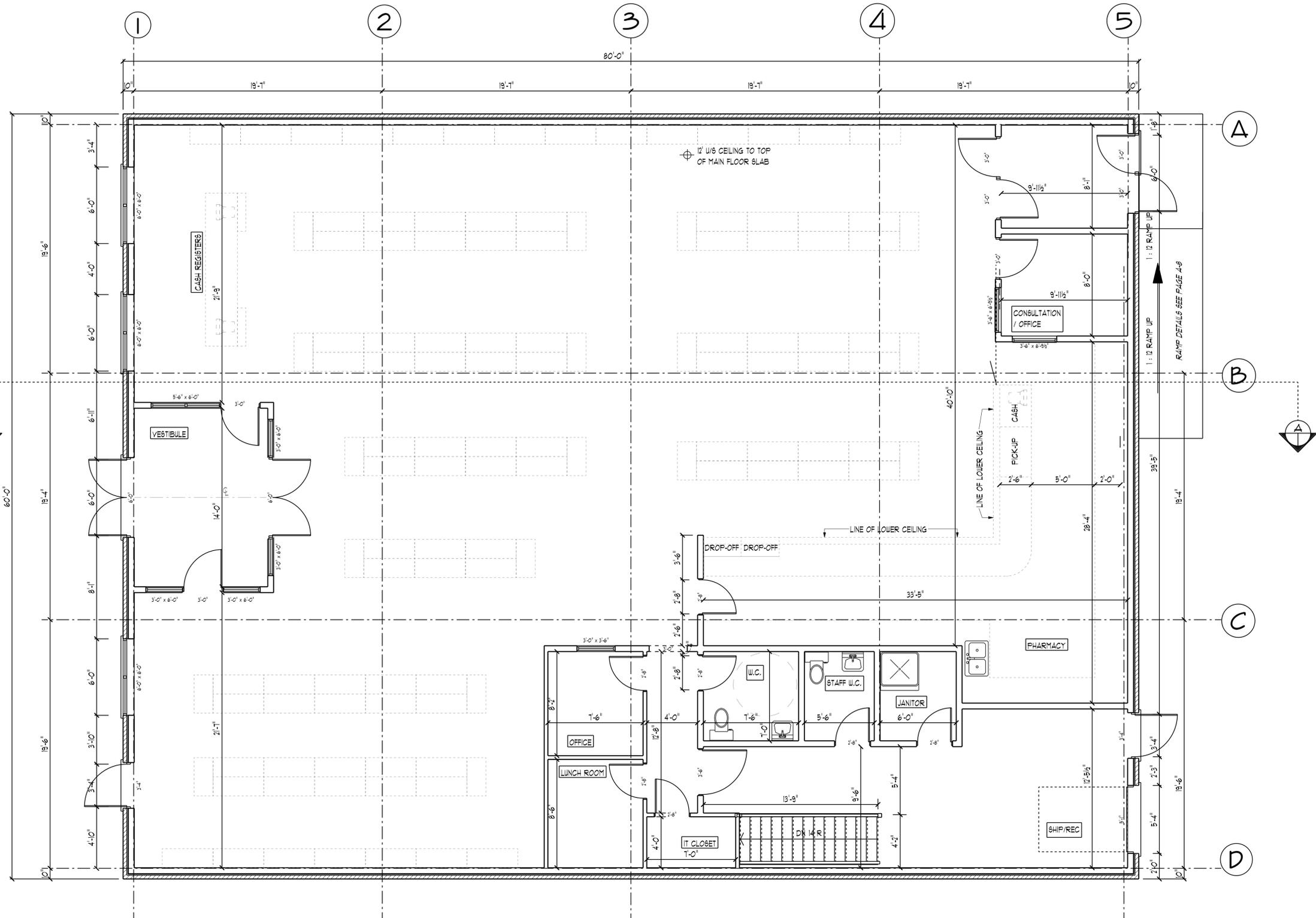


No.	Revision/Issue	Date

drawing title:
FOUNDATION PLAN

Project Name and Address:
**DUNDALK PHARMACY
PLAN 480 BLK E
PT LOT 19 PRON E
DUNDALK, ON
416 - 993 - 4751**

Project 019-015	Sheet A-1
Date 2019-10-15	
Scale As Noted	



MAIN FLOOR PLAN (REVISED)

SCALE: 1/4" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O.Reg. 197/01) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) & STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.1 of Division C of the OBC. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
BCIN #102156
Bev Gray
BCIN #25342

August 11, 2020
Bev Gray, M.A.A.T.O.
Architecture Technologist



No.	Revision/Issue	Date

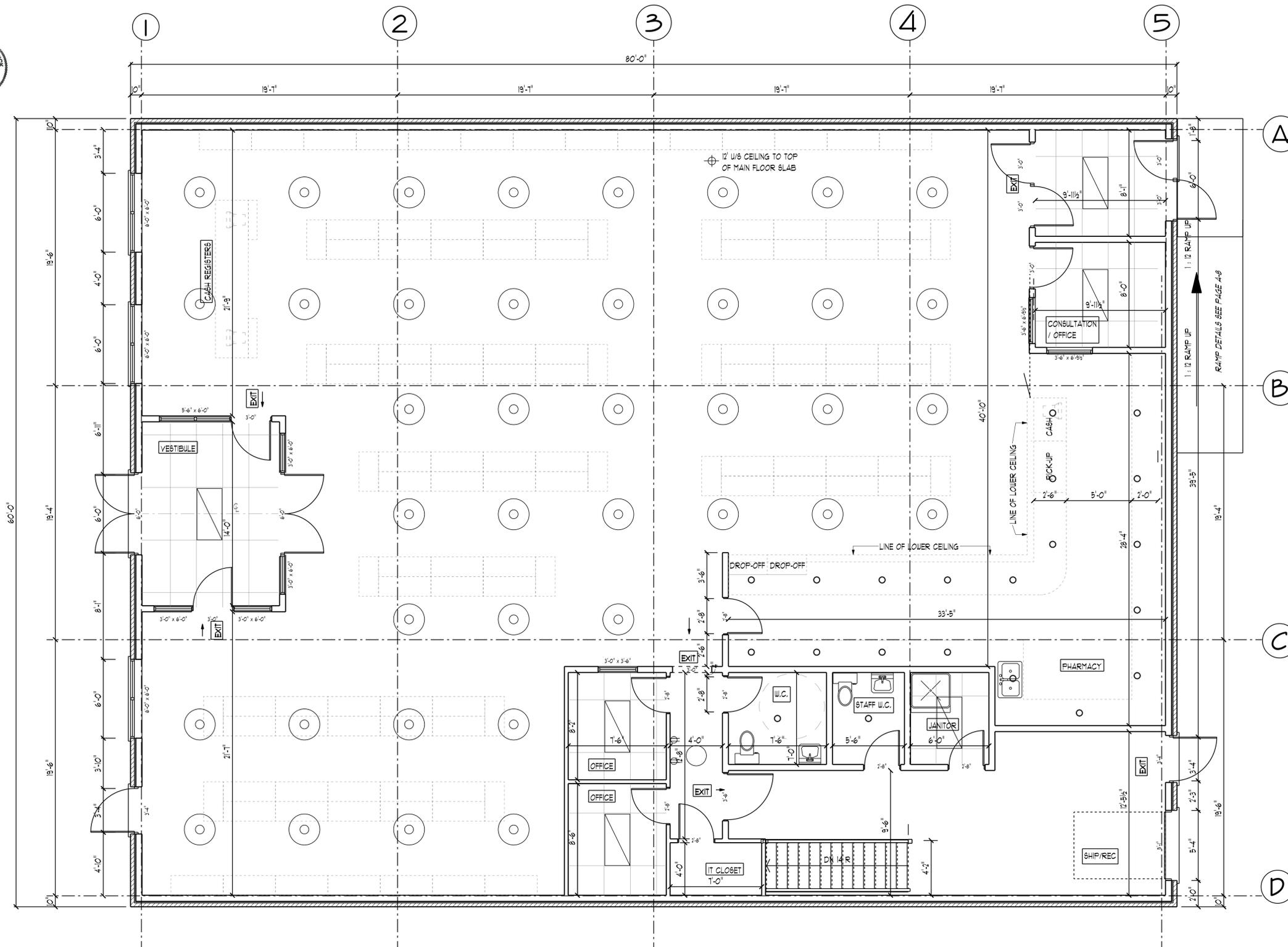


Bev Gray M.A.A.T.O.
519-216-1935
bghousedesigns@gmail.com

drawing title:
MAIN FLOOR PLAN

Project Name and Address:
**DUNDALK PHARMACY
PLAN 480 BLK E
PT LOT 19 PROTON E
DUNDALK, ON
416 - 993 - 4751**

Project	Sheet
019-015	A-2
Date 2019-10-15	
Scale As Noted	



MAIN FLOOR PLAN (REVISED)

SCALE: 1/4" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O. REG. 1970) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) & STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.1 of Division C of the OBC. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
BCIN #102156
Bev Gray
BCIN #25342

September 16, 2020
Bev Gray M.A.A.T.O.
Architectural Technologist



No.	Revision/Issue	Date



drawing title:
**REFLECTED CEILING PLAN
MAIN FLOOR**

Project Name and Address:
**DUNDALK PHARMACY
PLAN 480 BLK E
PT LOT 19 PROTON E
DUNDALK, ON
416 - 993 - 4751**

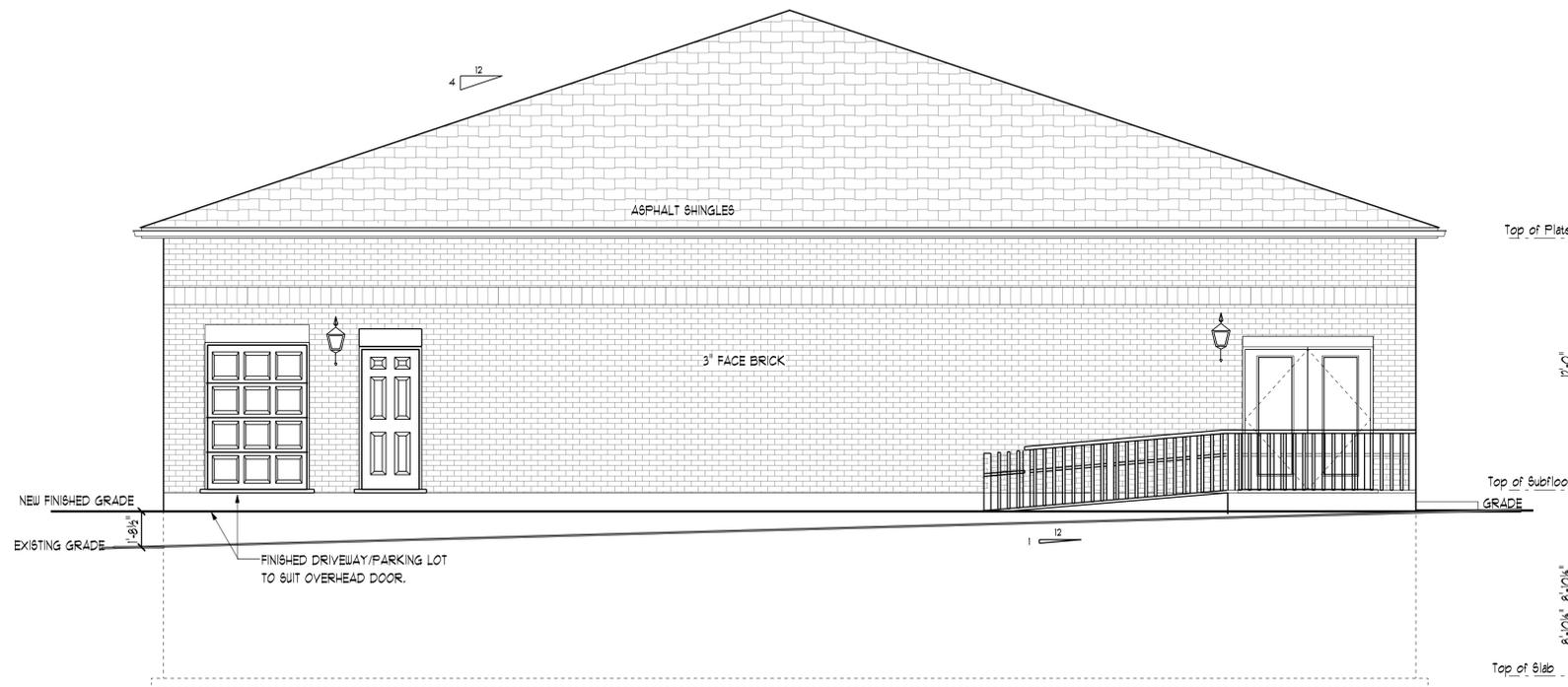
Project 019-015	Sheet
Date 2019-10-15	A-3
Scale As Noted	

Drawing #4 Dated October 7, 2020



FRONT ELEVATION

SCALE : 1/4" = 1'-0"



REAR ELEVATION

SCALE : 3/16" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O.B.C. 1970) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) & STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.1 of Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
BCIN #102156
Bev Gray
BCIN #25342

Bev Gray M.A.A.T.O.
Architectural Technologist
September 16, 2020



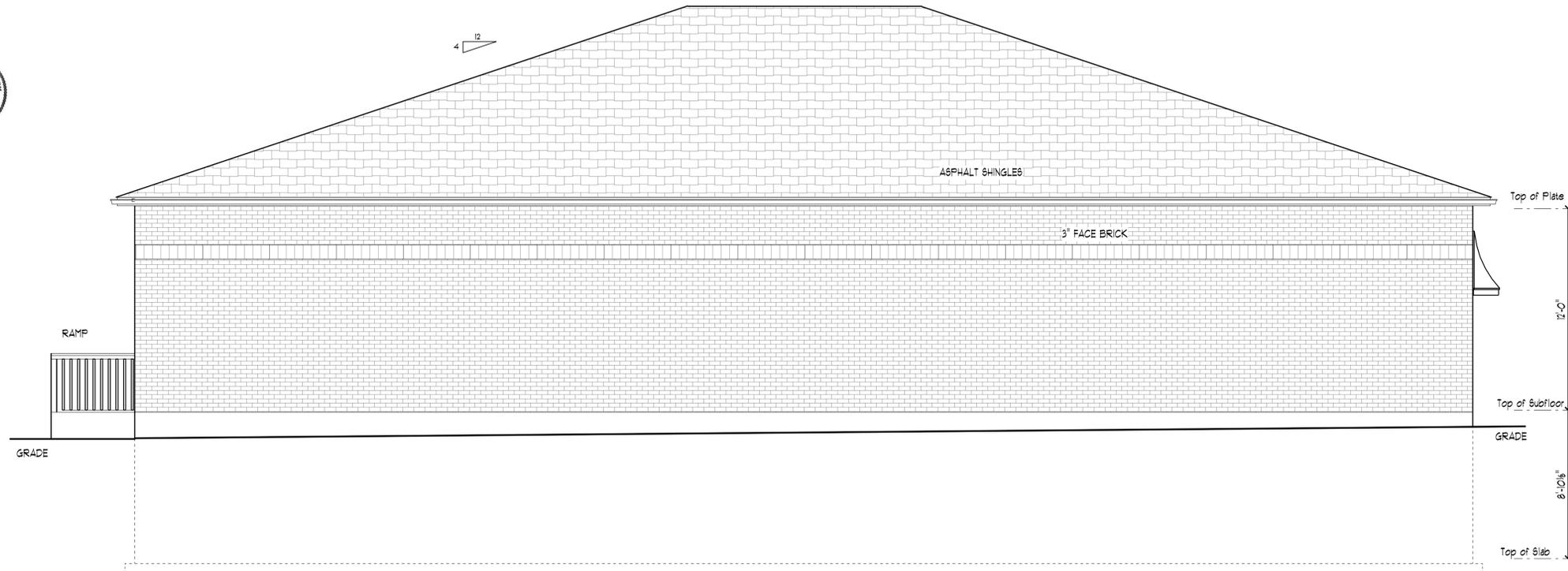
No.	Revision/Issue	Date

drawing title:
FRONT & REAR ELEVATIONS

Project Name and Address:
**DUNDALK PHARMACY
PLAN 480 BLK E
PT LOT 19 PRONON E
DUNDALK, ON
416 - 993 - 4751**

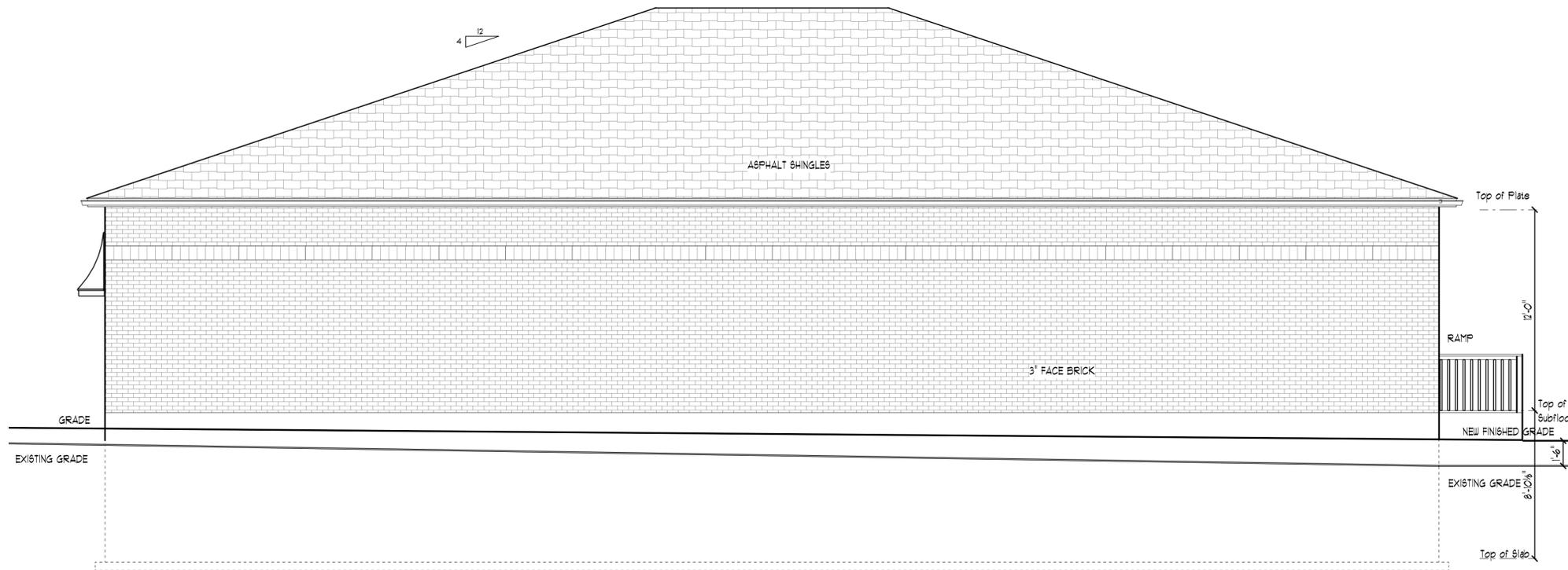
Project 019-015	Sheet A-4
Date 2019-10-15	
Scale As Noted	

Drawing #5 Dated October 7, 2020



LEFT ELEVATION

SCALE : 1/4" = 1'-0"



RIGHT ELEVATION

SCALE : 1/4" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O.Reg. 197/01) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) & STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.1 of Division C of the OBC. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
BCIN #102156
Bev Gray
BCIN #25342

Bev Gray M.A.A.T.O. Architectural Technologist
September 16, 2020



No.	Revision/Issue	Date



BEV GRAY M.A.A.T.O.
519-26-9335
bg_housedesigns@gmail.com

drawing title:

LEFT & RIGHT ELEVATIONS

Project Name and Address:

DUNDALK PHARMACY
PLAN 480 BLK E
PT LOT 19 PROTON E
DUNDALK, ON
416 - 993 - 4757

Project: 019-015

Date: 2019-10-15

Scale: As Noted

Sheet:

A-5

1 ROOF CONSTRUCTION O.B.C. 9.26
 ASPHALT SHINGLES, 10mm (3/8")
 FLYWOOD SHEATHING WITH "H"
 CLIPS APPROVED WOOD TRUSSES AT 600
 (24") O.C. OR FRAMING AS NOTED, APPROVED
 EAVES PROTECTION TO EXTEND MIN. 900 mm
 (3'-0") UP ROOF SURFACE TO LINE
 NOT LESS THAN 300 mm (12")
 BEYOND INNER FACE OF EXTERIOR
 WALL. 38 X 89 (2 X 4) TRUSSES
 BRACING AT 210 (7'-0") O.C. AT
 BOTTOM CHORD. METAL EAVESTROUGH
 ON ALUM. FASCIA + VENTED SOFFIT.
 ATTIC VENTILATION 1:300 OF
 INSULATED CEILING AREA WITH
 50% AT THE EAVES.

3 BRICK VENEER CONSTRUCTION
 90mm (4") OR 15mm (3/8") FACE BRICK
 25mm (1") AIR SPACE 21 X 180 X 0.16
 (1/8" X 1" X 22ga) METAL TIES AT
 400 (16") O.C. HORIZONTAL. 600 (24")
 O.C. VERTICAL. AIR BARRIER 15MM
 (1/2") EXT. TYPE SHEATHING, 38 X 140
 (2 X 6) STUD OR 38 X 89 (2 X 4)
 @ 400 (16") O.C. R51 3.6 (R2)
 INSULATION AND 6 mil VAPOUR
 BARRIER W/ CAULKING AT BEAMS,
 13mm (1/2") INT. DRYWALL FINISH,
 PROVIDE WEEP HOLES AT
 800 (30") O.C. BOTTOM COURSE ONLY
 AND OVER OPENINGS. PROVIDE BASE
 FLASHING UP MIN. 150mm
 BEHIND AIR BARRIER.

5 INTERIOR STUD PARTITIONS
 38 X 89 (2 X 4) OR 38 X 140 (2 X 6)
 @ 400 (16") O.C. BEARING, 38 X 89
 (2 X 4) @ 600 (24") O.C. NON-BEARING,
 13mm (1/2") INT. DRYWALL BOTH SIDES
 2 TOP PLATES + 1 BOTTOM PLATE TO
 MATCH STUD SIZE. O.B.C. 9.24.2.1
 BLOCKING FOR GRAB BARS IN BATH
 W.C., SHOWER + TUB O.B.C. 9.25.3

6 FOUNDATION WALL O.B.C. TABLE 9.15.4.1
 200mm (7 1/8") OR 250mm (9 7/8")
 POURED CONC. FDN. OR CONC. BLK.
 WALL 15Mpa CONC. WITH DRAINAGE
 MEMBRANE ON 500 X 155 (20" X 6")
 CONTINUOUS KEYED CONC. FTG. OR AS
 PER SOIL REPORT. BACK FILL WITH
 NON-FROST SUSCEPTIBLE SOIL. (9.15.3)
 LATERAL SUPPORT. O.B.C. 9.15.4.2

8 100mm (4") DIA. WEEPING TILE (W/END
 MESH) 155 (6") 3/4" DIA. DRAIN STONE
 COVER OVER AND AROUND ALL FOOTINGS.
 O.B.C. 9.14.3.3

9 80mm (3") 15 Mpa CONC. SLAB ON 130mm
 (5") DRAIN STONE W/DAMP-PROOFING,
 25 Mpa CONC. WITHOUT DAMPROOFING
 O.B.C. 9.16.2.1

10 38 X 89 (2 X 4) SILL PLATE ON GASKET
 WITH 13mm (1/2") DIA. ANCHOR BOLTS
 300mm (12") LONG MIN. 200mm (8") IN CONC.
 @ 2400 (8'-0") O.C. 6 mil. V.B. +
 CONTINUOUS CAULKING OR GASKET BETWEEN
 PLATE AND CONCRETE WALL W/ AIR BARRIER.
 O.B.C. 9.23.6.1 + 9.23.7.1

11 MIN. NOMINAL R20 INSULATION WITH
 38 X 89 (2 X 4) STUDS @ 600 (24") O.C.
 AND 6 mil. VAPOUR BARRIER TO FDN.
 SLAB PROVIDE NO. 15 (0.1 kg/M2) W/CAULKING
 AT BEAMS. BLDG. PAPER BETWEEN FOUNDATION
 WALL AND INSULATION. 13mm (1/2")
 INTERIOR DRYWALL FINISH. O.B.C. 9.23

12 BEAM POCKET W/ FOAM INSULATION
 O.B.C. 9.15.5.2

13 19 X 89 (1 X 4) BOTH SIDES
 OF STEEL BEAM.
 O.B.C. 9.23.4.3

14 90mm (3 1/2") PIPE COLUMN, 3/16" WALL
 THICKNESS. 870 X 870 X 410
 (34" X 34" X 16") CONC. FTG. WITH
 150 X 150 X 9.5 (6" X 6" X 3/8")
 TOP AND BOTTOM PLATE FOOTING SIZE
 MAY VARY (SEE PLANS) ADJ. COLS.
 O.B.C. 9.11.3

15 ALL JOISTS TO BE BRIDGED WITH 38 X 38
 (2 X 2) CROSS BRIDGING OR SOLID BLOCKING
 AT 2100 (6'-11") O.C. MAX. STRAPPING SHALL
 BE 19 X 64 (1 X 3) SPACED @ 2100 (6'-11")
 OR T/J AS PER MANUFACT. SPEC.
 O.C. MAX. WHERE SPECIFIED.
 O.B.C. 9.23.9.4.4

22 ALL STAIR/EXTERIOR STAIRS
 O.B.C. 9.8.1(2-5)

MAX. RISE	+ 200 (7-7/8")
MIN. RUN	+ 210 (8-3/8")
MIN. TREAD	+ 235 (9-1/4")
MIN. NOSING	+ 25 (1")
MIN. HEADROOM	+ 1950 (6'-5")
RAIL + LANDING	+ 915 (3'-0")
AT STAIR	+ 810 (2'-8")
MIN. WIDTH	+ 860 (2'-10")

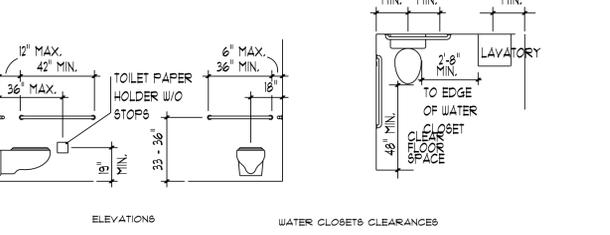
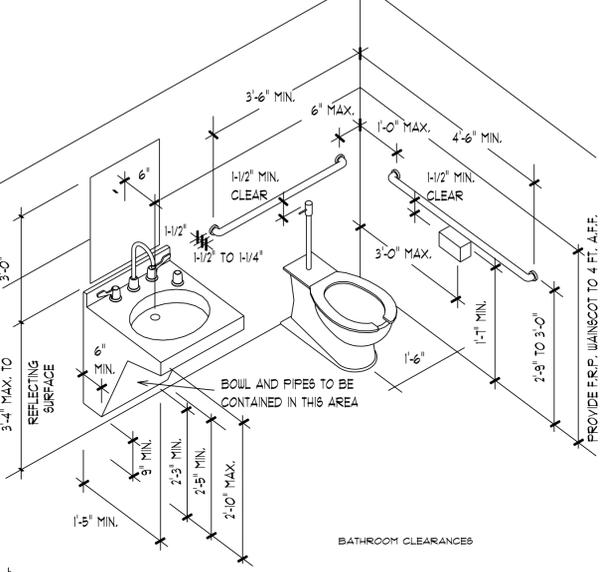
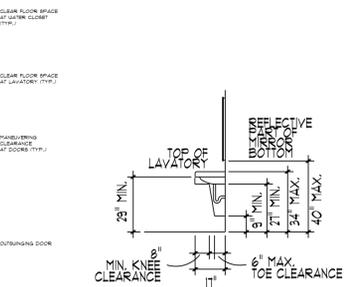
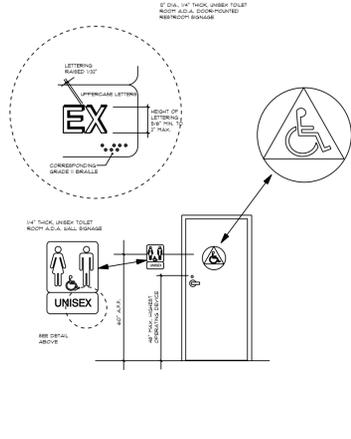
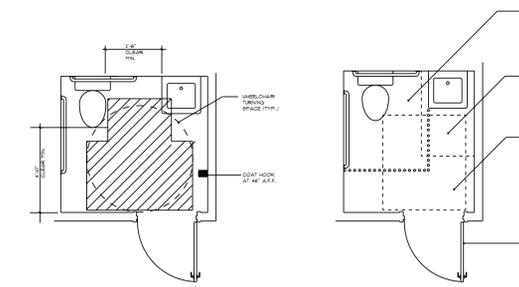
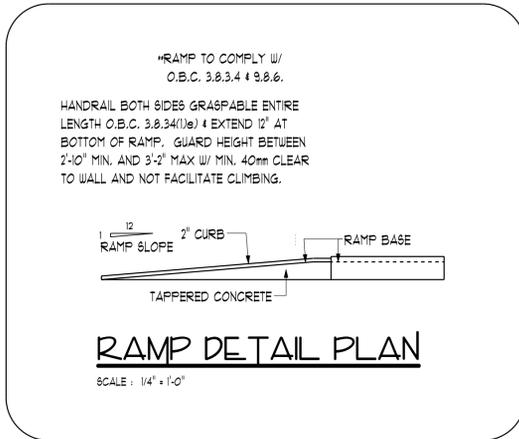
23 RAILING PICKETS MAX. 100mm (4") BETWEEN.
 800mm (21") MIN 920mm (30") MAX. HEIGHT
 HANDRAILS REQUIRED STAIRS WITH MORE
 THAN 3 RISERS EXTERIOR, AND MORE THAN
 2 RISERS INTERIOR STAIRS.
 O.B.C. 9.8.1 (RAILINGS) + 9.8.8 (GUARDS)

30 DOOR TO BE EXTERIOR TYPE WITH
 WEATHER STRIPPING.

34 PROVIDE 200mm (8") DEEP SOLID MASONRY
 UNDER ALL BEAMS. O.B.C. 9.15.5.2

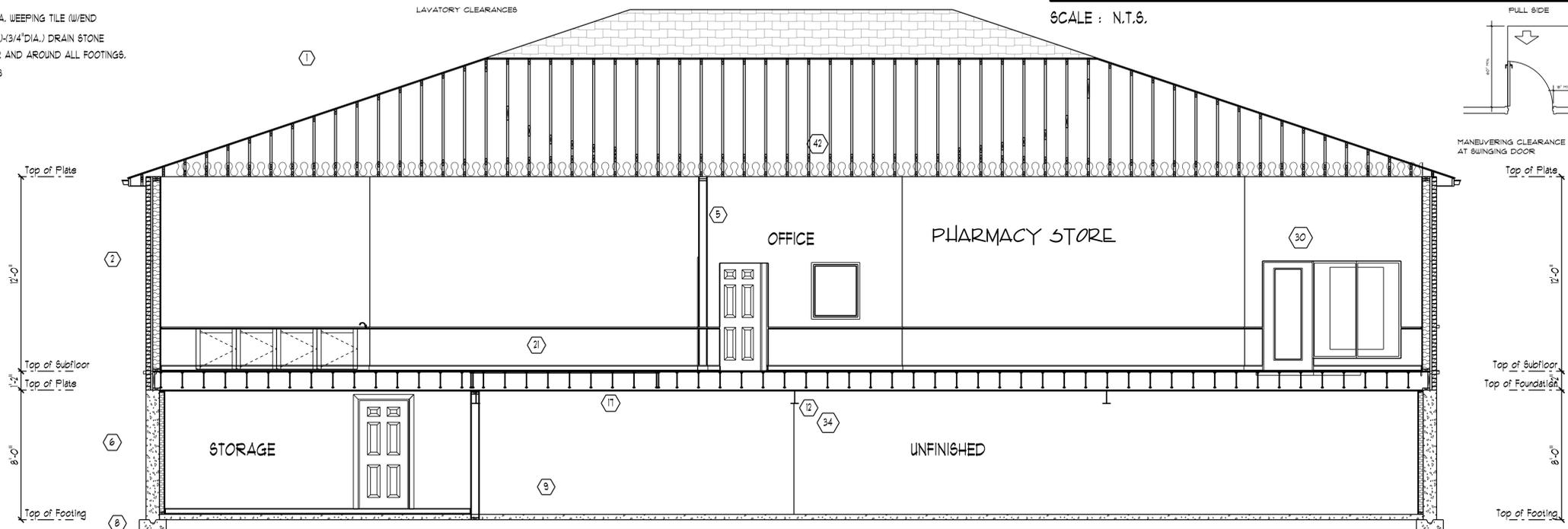
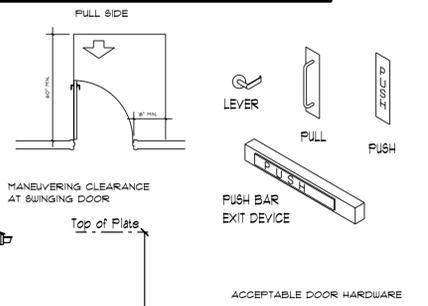
42 R60 ROOF INSULATION AND
 6mil VAPOUR BARRIER, 16mm (5/8")
 INT. DRYWALL FINISH. O.B.C. 12.3.2.1

43 SMOKE ALARMS O.B.C. 9.10.19.3
 SMOKE, CO + VISUAL SIGNAL



WATER CLOSETS DETAILS

SCALE : N.T.S.



CROSS SECTION A-A

SCALE : 1/4" = 1'-0"

General Notes

All designs, drawings and related documents issued to the client/owner remain the property of Bev Gray & Associates. Reproduction of these designs, drawings or related documents in whole or in part, is strictly forbidden without written permission.

ALL CONSTRUCTION PRACTICES TO COMPLY WITH CURRENT ONTARIO BUILDING CODE (O. REG. 137/01) REQUIREMENTS AND LOCAL BY-LAWS (UNLESS OTHERWISE NOTED) + STRUCTURAL INTEGRITY TO BE APPROVED BY THE LOCAL MUNICIPALITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. THIS DRAWING SHALL NOT BE SCALED.

Drawing #6 Dated October 7, 2020

Clinton Steadwick
 CLINTON STEADWICK
 PROFESSIONAL ENGINEER
 R.P.P.

Bev Gray & Associates
 BEV GRAY & ASSOCIATES
 ARCHITECTURAL TECHNOLOGISTS
 R.P.P.

I review and take responsibility for the design work on behalf of a firm registered under Article 3.2.4.7 of Division C of the O.B.C. I am qualified and the firm is registered in the appropriate classes/categories.

Bev Gray & Associates
 BCIN #02156
 Bev Gray-Gosling
 BCIN #25342

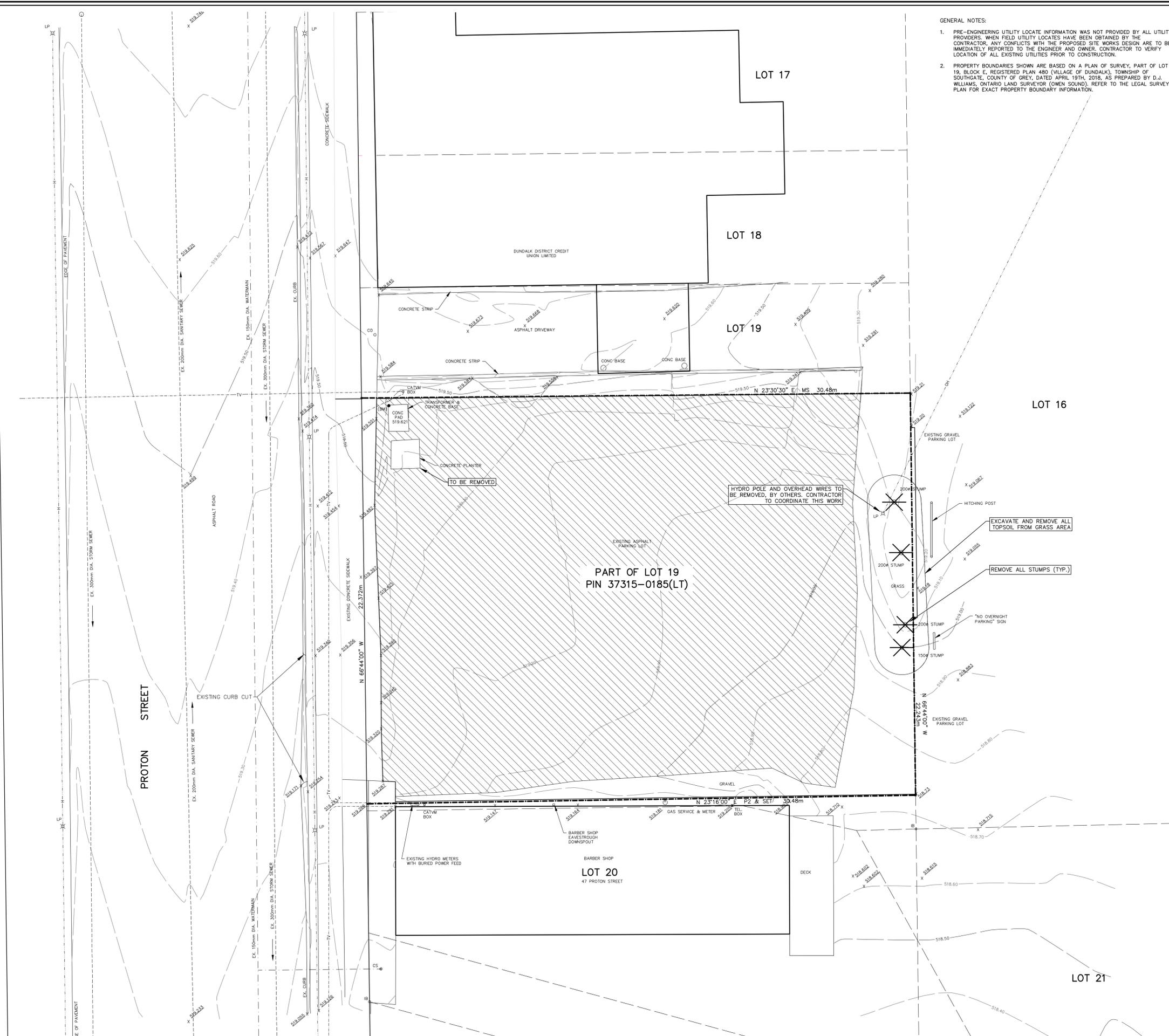
September 16, 2020
 Bev Gray-Gosling, M.A.A.T.O. O.A.S.
 Architectural Technologist

BGC
 Bev Gray M.A.A.T.O.
 9069 ERM GARAFRANA TOWNLINE, OXTON, ON
 LON NO. 519-216-1935
 bgghousedesigns@gmail.com

drawing title:
 CROSS SECTION A-A
 DETAILS & NOTES

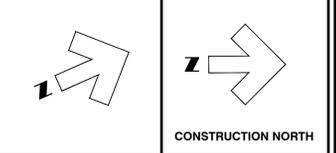
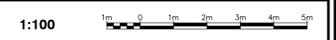
Project Name and Address:
 DUNDALK PHARMACY
 PLAN 480 BLK E
 PT LOT 19 PROTON E
 DUNDALK, ON
 416 - 993 - 4151

Project	019-015	Sheet	A-6
Date	2019-10-15	Scale	
Scale	As Noted		



GENERAL NOTES:
 1. PRE-ENGINEERING UTILITY LOCATE INFORMATION WAS NOT PROVIDED BY ALL UTILITY PROVIDERS. WHEN FIELD UTILITY LOCATES HAVE BEEN OBTAINED BY THE CONTRACTOR, ANY CONFLICTS WITH THE PROPOSED SITE WORKS DESIGN ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND OWNER. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 2. PROPERTY BOUNDARIES SHOWN ARE BASED ON A PLAN OF SURVEY, PART OF LOT 19, BLOCK E, REGISTERED PLAN 480 (VILLAGE OF DUNDALK), TOWNSHIP OF SOUTHGATE, COUNTY OF GREY, DATED APRIL 19TH, 2018, AS PREPARED BY D.J. WILLIAMS, ONTARIO LAND SURVEYOR (OWEN SOUND). REFER TO THE LEGAL SURVEY PLAN FOR EXACT PROPERTY BOUNDARY INFORMATION.

LEGEND	
— SAN. or STM. —	EXISTING SEWERS, SANITARY or STORM
— W —	EXISTING WATERMAIN
— G —	EXISTING GASMAIN
— T —	EXISTING UNDERGROUND TELEPHONE
— H —	EXISTING UNDERGROUND HYDRO
— TV —	EXISTING UNDERGROUND TV CABLE
— LP —	EXISTING UTILITY POLES
— X —	EXISTING GRUBS
— [Pattern] —	REMOVE EXISTING CONC. SIDEWALK AND DRIVES
— [Pattern] —	REMOVE AND PLACE CONC. SIDEWALK AND DRIVES
— [Pattern] —	PLACE CONC. SIDEWALK AND DRIVES
— [Pattern] —	REMOVE EXISTING ASPHALT PAVT
— [Pattern] —	PLACE HOT MIX ASPHALT DRIVES 30mm HL HOT MIX (MSC)
— [Pattern] —	REMOVE EXISTING CONC. CURB
— [Symbol] —	EXISTING SPOT ELEVATION
— [Symbol] —	SITE PROPERTY BOUNDARY



NOTE
 The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work and agrees to be fully responsible for any damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

BENCHMARK INFORMATION
 B.M. Elev. 519.621
 Top Southwest Corner of Concrete Base for Electrical Transformer at Proton Street at southwest Corner of Site

Design By: G.A.F. Checked By: F.C.V.



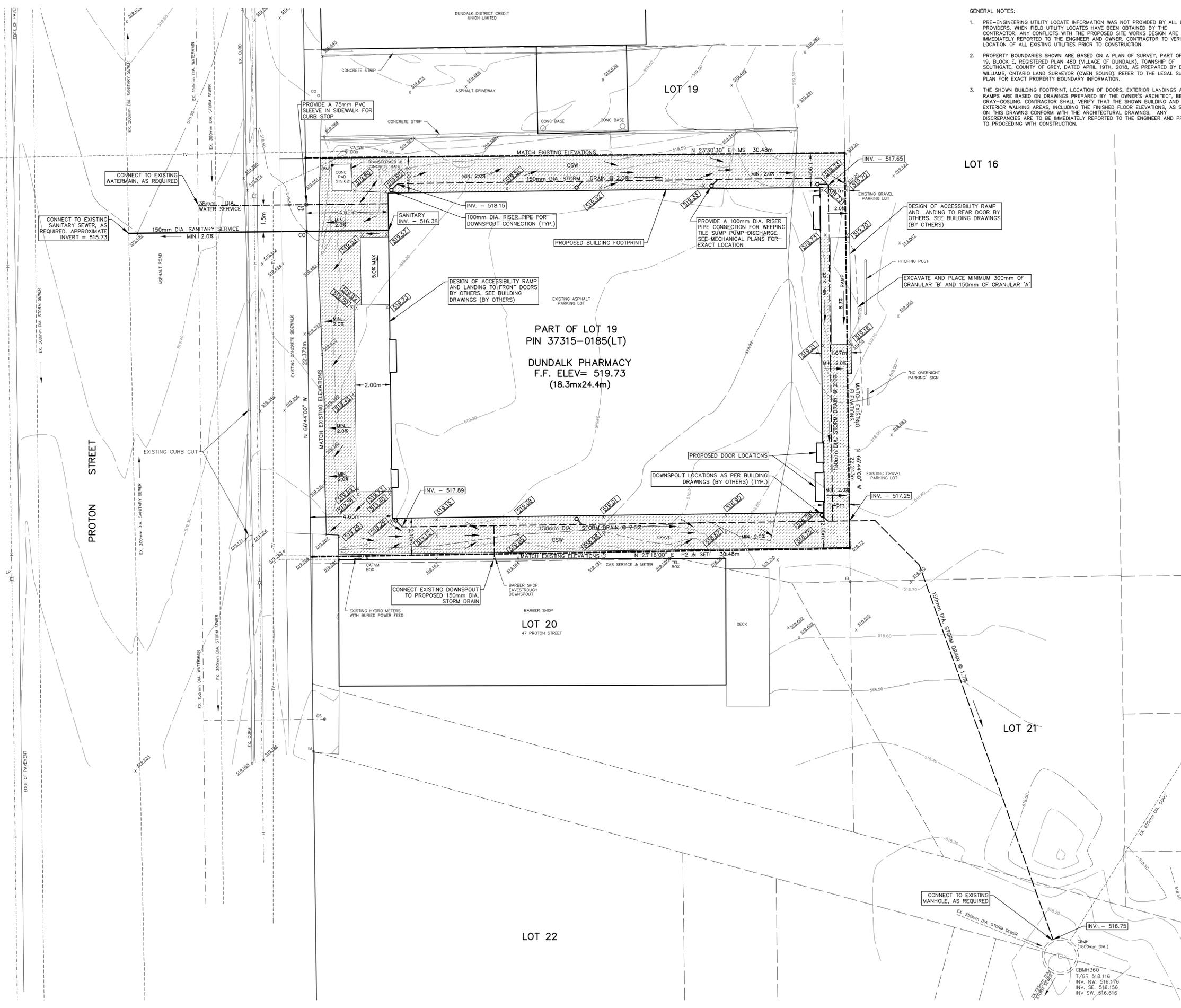
No.	DATE	REVISION
1	June 5, 2018	Issued Preliminary for Review
2	June 20, 2018	Issued to Client for SPA Submission
3	Nov. 2, 2018	Issued for Building Permit Application
4	Dec. 19, 2019	Revised (Smaller Building)



Goderich Mount Forest Sarnia

Retall Pharmacy (Dundalk)
 Existing Conditions and Removals

Scale (24x36)	Project No. 18052
1:100	Drawing No. 1

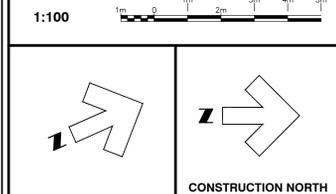


GENERAL NOTES:

- PRE-ENGINEERING UTILITY LOCATE INFORMATION WAS NOT PROVIDED BY ALL UTILITY PROVIDERS. WHEN FIELD UTILITY LOCATES HAVE BEEN OBTAINED BY THE CONTRACTOR, ANY CONFLICTS WITH THE PROPOSED SITE WORKS DESIGN ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND OWNER. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- PROPERTY BOUNDARIES SHOWN ARE BASED ON A PLAN OF SURVEY, PART OF LOT 19, BLOCK E, REGISTERED PLAN 480 (VILLAGE OF DUNDALK), TOWNSHIP OF SOUTHGATE, COUNTY OF GREY, DATED APRIL 19TH, 2018, AS PREPARED BY D.J. WILLIAMS, ONTARIO LAND SURVEYOR (OWEN SOUND). REFER TO THE LEGAL SURVEY PLAN FOR EXACT PROPERTY BOUNDARY INFORMATION.
- THE SHOWN BUILDING FOOTPRINT, LOCATION OF DOORS, EXTERIOR LANDINGS AND RAMPS ARE BASED ON DRAWINGS PREPARED BY THE OWNER'S ARCHITECT. BEV GRAY-COOLING CONTRACTOR SHALL VERIFY THAT THE SHOWN BUILDING AND EXTERIOR WALKING AREAS, INCLUDING THE FINISHED FLOOR ELEVATIONS, AS SHOWN ON THIS DRAWING CONFORM WITH THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND PRIOR TO PROCEEDING WITH CONSTRUCTION.

LEGEND

— SAN. or STM.	EXISTING SEWERS, SANITARY or STORM
○	MANHOLE AND CATCHBASIN
— W	WATERMAIN
— G	GASMAIN
— T	UNDERGROUND TELEPHONE
— H	UNDERGROUND HYDRO
— TV	UNDERGROUND T.V. CABLE
— U	UTILITY POLES
⊗	GRUBBING
▨	REMOVE EXISTING CONC. SIDEWALK AND DRIVES
▩	REMOVE AND PLACE CONC. SIDEWALK AND DRIVES
▧	PLACE CONC. SIDEWALK AND DRIVES
▦	REMOVE EXISTING ASPHALT PAVT
▤	PLACE HOT MIX ASPHALT (DRIVES 50mm HL-3 HOT MIX MISC.)
▥	REMOVE EXISTING CONC. CURB
○	EXISTING SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
---	SITE PROPERTY BOUNDARY
○	WATER SERVICE CURB STOP
○	SANITARY SERVICE CLEAN OUT



NOTE

The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work and agrees to be fully responsible for any damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.

BENCHMARK INFORMATION

B.M. Elev. 519.621
 Top Southwest Corner of Concrete Base for Electrical Transformer at Proton Street at southwest Corner of Site

Design By: G.A.F. Checked By: F.C.V.

No.	DATE	REVISION
1	June 5, 2018	Issued Preliminary for Review
2	June 20, 2018	Issued to Client for SPA Submission
3	Nov. 2, 2018	Issued for Building Permit Application
4	Dec. 19, 2019	Revised (Smaller Building)



Goderich Mount Forest Sarnia

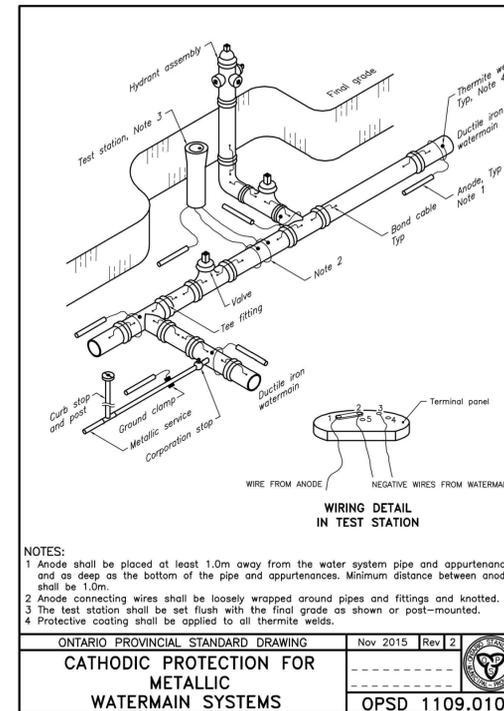
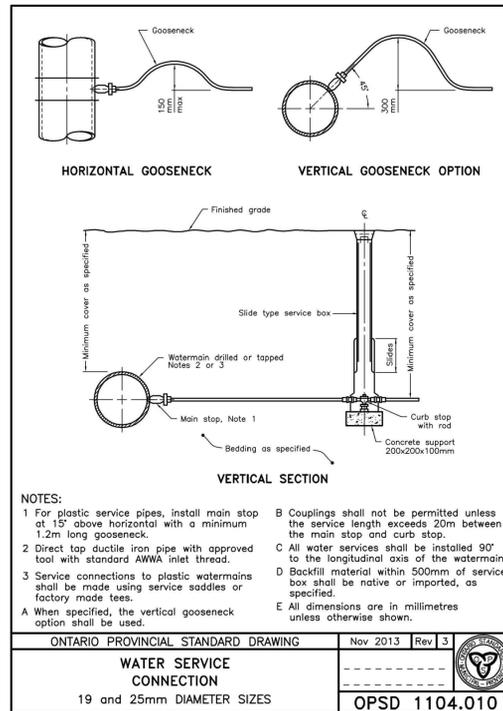
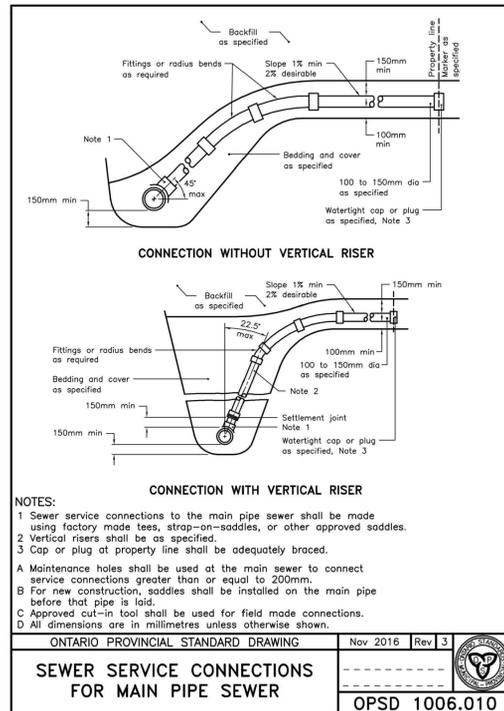
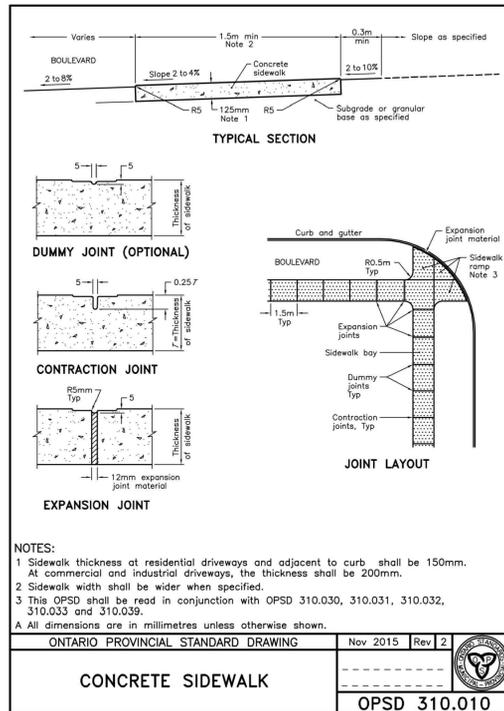
Rexall Pharmacy (Dundalk)

Site, Servicing, Grading & Drainage Plan

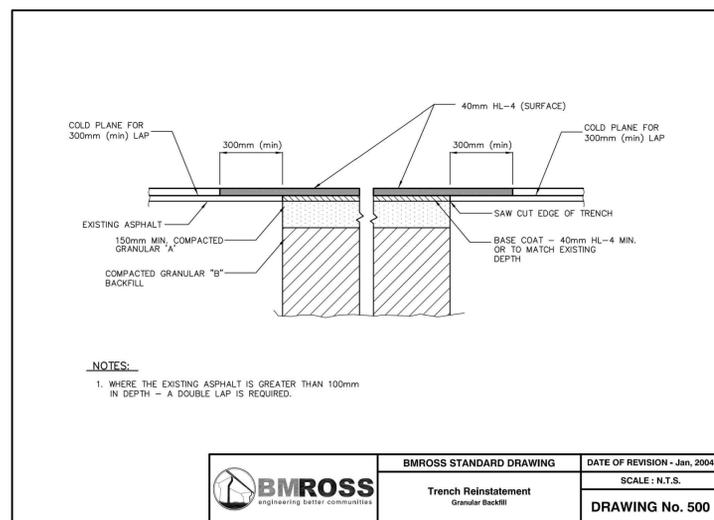
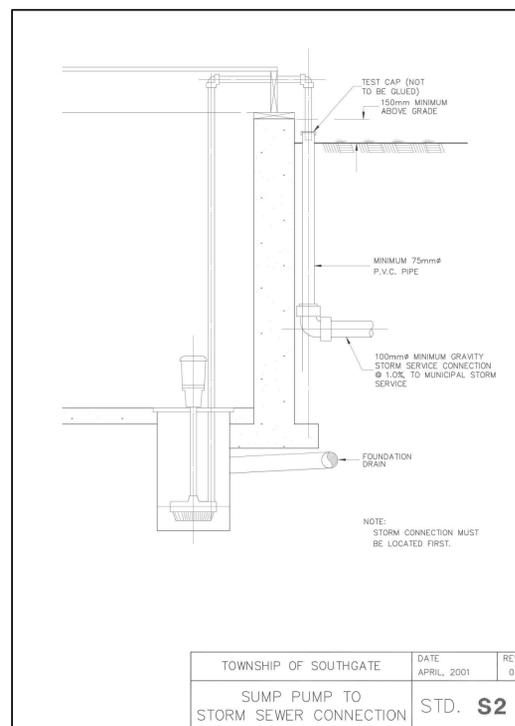
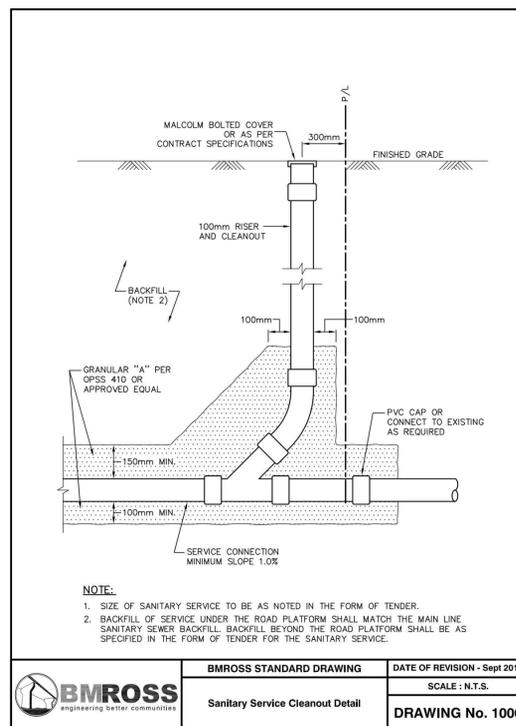
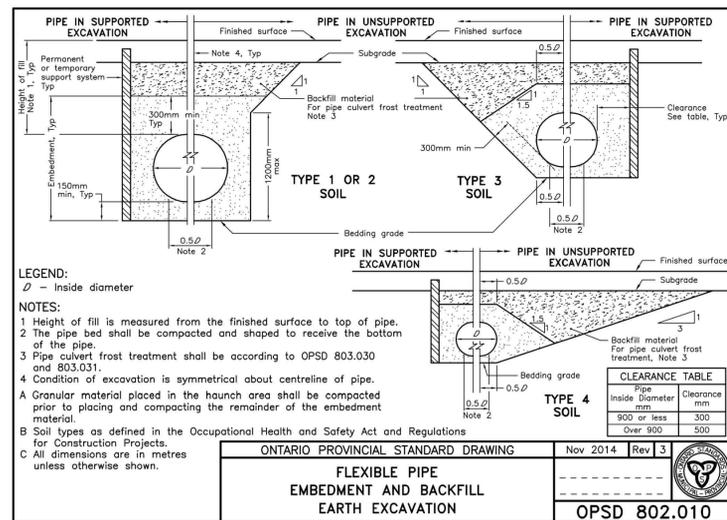
Project No. 18052

Scale (24x36) 1:100

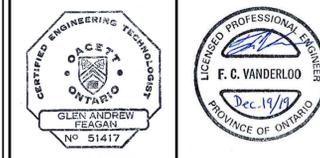
Drawing No. 2



Drawing #9 Dated October 7, 2020



Design By: G.A.F. Checked By: F.C.V.



No.	DATE	REVISION
1	June 5, 2018	Issued Preliminary for Review
2	June 20, 2018	Issued to Client for SPA Submission
3	Nov. 2, 2018	Issued for Building Permit Application
4	Dec. 19, 2019	Revised (Smaller Building)



Goderich Mount Forest Sarnia

TOWNSHIP OF SOUTHGATE DATE APRIL, 2001 REV 0
SUMP PUMP TO STORM SEWER CONNECTION STD. S2

Rexall Pharmacy (Dundalk)

Details

Project No. 18052

Scale (24x36) As Shown Drawing No. 3

SPECIFICATIONS AND NOTES

GENERAL (APPLICABLE TO ALL WORKS)

- PRE-ENGINEERING UTILITY LOCATE INFORMATION WAS NOT PROVIDED BY ALL UTILITY PROVIDERS. WHEN FIELD UTILITY LOCATES HAVE BEEN OBTAINED BY THE CONTRACTOR, ANY CONFLICTS WITH THE PROPOSED SITE WORKS DESIGN ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND OWNER. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- PROPERTY BOUNDARIES SHOWN ARE BASED ON A PLAN OF SURVEY PART OF LOT 19 BLOCK E REGISTERED PLAN 480 (VILLAGE OF DUNDALK) TOWNSHIP OF SOUTHGATE, COUNTY OF GREY, DATED APRIL 19TH, 2016, AS PREPARED BY D.J. WILLIAMS, ONTARIO LAND SURVEYOR (OWEN SOUND). REFER TO THE LEGAL SURVEY PLAN FOR EXACT PROPERTY BOUNDARY INFORMATION.
- THE SHOWN BUILDING FOOTPRINT, LOCATION OF DOORS, EXTERIOR LANDINGS AND RAMPS ARE BASED ON DRAWINGS PREPARED BY THE OWNER'S ARCHITECT, BEV GRAY-GOSLING. CONTRACTOR SHALL VERIFY THAT THE SHOWN BUILDING AND EXTERIOR WALKING AREAS, INCLUDING THE FINISHED FLOOR ELEVATIONS, AS SHOWN ON THIS DRAWING CONFORM WITH THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION WHICH INCLUDES, BUT IS NOT LIMITED TO, SITE CONDITIONS, LOCATIONS, ELEVATIONS, GRADES, AND INVERTS, PRIOR TO CONSTRUCTION. ANY DISCREPANCIES ARE TO BE IMMEDIATELY REPORTED TO THE ENGINEER AND PRIOR TO PROCEEDING WITH CONSTRUCTION.
- NO WORK SHALL PROCEED WITHIN TOWNSHIP ROAD ALLOWANCES WITHOUT PRIOR WRITTEN NOTIFICATION TO THE TOWNSHIP AND NOT UNTIL RECEIPT OF TOWNSHIP APPROVAL.
- NO CHANGES ARE TO BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.
- CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH UTILITY COMPANIES WHO MAY ALSO REQUIRE UTILITY INSTALLATIONS BE COMPLETED DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL, AND MEASURES TO PROTECT PEDESTRIANS, IN ACCORDANCE WITH MTO BOOK 7 AND AS REQUIRED BY THE TOWNSHIP OF SOUTHGATE.
- CONTRACTOR SHALL MARK UP CONTRACT DRAWINGS WITH "AS RECORDED" INFORMATION AND SUBMIT THEM TO THE ENGINEER WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE OF THE WORKS.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL PERMITS FROM THE TOWNSHIP.

GEOTECHNICAL INVESTIGATION:

- THE OWNER SHALL RETAIN A CONSULTANT TO COMPLETE A GEOTECHNICAL INVESTIGATION FOR THE PROPOSED BUILDING AND SITE WORKS PRIOR TO COMMENCING WITH ANY CONSTRUCTION. THE RESULT OF THAT INVESTIGATION SHALL BE SUBMITTED IMMEDIATELY TO THE ARCHITECT AND ENGINEER. THE GEOTECHNICAL CONSULTANT TO COMPLETE COMPACTION AND MATERIAL TESTING DURING THE CONSTRUCTION OF THE WORKS AND THE RESULTS OF THAT WORK REPORTED IMMEDIATELY TO THE ARCHITECT AND ENGINEER.

DISPOSAL OF SURPLUS MATERIALS AND RESTORATION:

- ALL EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. WORK SHALL INCLUDE ALL LOADING, HAULING, DUMPING AND LEVELLING OF THE MATERIAL.
 - CLEAN EARTH MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT AN APPROVED SITE OUTSIDE THE LIMITS OF THE PROJECT AREA.
 - ASPHALT SHALL BE DISPOSED OF BY THE CONTRACTOR, AT AN APPROVED SITE OUTSIDE THE LIMITS OF THE PROJECT AREA.
 - CONCRETE SHALL BE DISPOSED OF BY THE CONTRACTOR OUTSIDE THE LIMITS OF THE PROJECT AREA.
- GENERAL RESTORATION REQUIREMENTS:
 - ALL RESTORATION SHALL BE IN ACCORDANCE WITH OPSS 492 AND THE FOLLOWING:
 - LAWN AREAS --- 100 MM OF APPROVED TOPSOIL LEVELLED AND GRADED TO CONFORM TO THE EXISTING GROUND, FOLLOWED BY NURSERY SOIL.
 - NON-LAWN, NON-ROADWAY AREAS --- 100 MM OF APPROVED TOPSOIL LEVELLED AND GRADED TO CONFORM TO THE EXISTING GROUND, FOLLOWED BY AN APPROVED SEED AND MULCH APPLICATION BY HYDRO-SEEDING METHODS.
 - WHERE EXISTING ROADWAY/DRIVEWAY IS PAVED --- 450 MM MINIMUM OF GRANULAR "B", 150 MM OF GRANULAR "A", 40 MM OF HL-3 OVER 50 MM OF HL-4. WHERE NEW ASPHALT IS REQUIRED AGAINST EXISTING PAVEMENT, A STEPPED JOINT SHALL BE PREPARED BY REMOVING 0.5 M WIDE BY THE DEPTH OF THE EXISTING SURFACE COURSE PRIOR TO PAVING.
 - ALL DISTURBED OR DAMAGED CONCRETE STRUCTURES, SUCH AS SIDEWALKS, CURBS AND GUTTER, ETC., SHALL BE REMOVED AND REPLACED TO MATCH EXISTING.
 - PRIOR TO THE EXPIRATION OF AN AGREED TO WARRANTY PERIOD, THE CONTRACTOR SHALL REPAIR ALL SETTLEMENTS. SETTLEMENTS OF LAWNS, NON-LAWNS OR NON-ROADWAY AREAS SHALL BE RESTORED BY APPLYING SUFFICIENT TOPSOIL TO THE SETTLED AREA FOLLOWED BY AN APPLICATION OF APPROVED SEED AND MULCH. ASPHALT SETTLEMENTS SHALL BE RESTORED BY MILLING THE DEFICIENT AREA FOLLOWED BY THE PLACEMENT HOT MIX ASPHALT (HMA). ALL REPAIRS SHALL BE IN ACCORDANCE WITH OPSS 570, OPSS 572, AND OPSS 310.
 - ALL BEDDING, EMBEDMENT, COVER AND BACKFILL MATERIAL SHALL BE PLACED IN LAYERS PRIOR TO COMPACTING IN ACCORDANCE WITH OPSS 501. COMPACTION SHALL BE DONE USING A "HOEPAC" TYPE COMPACTION UNIT.
 - NOTE: IN (A) AND (B) ABOVE, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE A CATCH OF GRASS.

DEWATERING:

- DEWATERING OF EXCAVATIONS TO BE COMPLETED BY THE CONTRACTOR AS REQUIRED AND IN ACCORDANCE WITH OPSS 517 AND OPSS 518

GRADING:

- MAXIMUM SLOPE OF ALL ACCESS AREAS (DRIVES, WALKWAYS, ETC.) TO BE 5% AND MINIMUM SLOPE OF 2%, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

EARTH EXCAVATION:

- THE CONTRACTOR SHALL EXCAVATE TO THE REQUIRED LINE AND GRADE. ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF AS OUTLINED UNDER THE GENERAL SP - DISPOSAL OF SURPLUS MATERIALS.
- WORK IS TO INCLUDE ALL EXCAVATION AND GRADING REQUIRED INCLUDING THE REMOVAL AND DISPOSAL OF DESIGNATED ASPHALT, INCLUDING CURBS AND ANY OTHER MINOR STRUCTURES ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.

GRANULAR "A" AND GRANULAR "B":

- THE CONTRACTOR SHALL SUPPLY TO THE SITE, PLACE, FINE GRADE AND COMPACT GRANULAR "A" AND GRANULAR "B" MATERIALS REQUIRED IN THE ROADWAY FOR ROADBED, SUBDRAINS, SHOULDERING, DRIVEWAYS, SIDEWALKS, ETC., WHICH ARE APPLICABLE TO THIS PROJECT.

CLEARING AND GRUBBING OF TREES:

- CLEARING AND GRUBBING SHALL BE IN ACCORDANCE WITH OPSS 201.

SANITARY SERVICE:

- THE CONTRACTOR SHALL SUPPLY ALL LABOUR, EQUIPMENT AND MATERIALS FOR THE COMPLETE INSTALLATION AND TESTING OF THE SANITARY SERVICE AS INDICATED ON THE DRAWINGS.
- PIPE MATERIAL FOR SANITARY SERVICE SHALL BE PVC DR28, SERVICE SADDLE SHALL BE CLOW D-50 CAST IRON SS STRAP ON SADDLE OR APPROVED EQUIVALENT. WHERE REQUIRED AND/OR SHOWN ON THE DRAWINGS, END CAPS, ADAPTERS, REDUCERS, ETC. SHALL BE PROVIDED.
- BEDDING SHALL BE CLASS B AS PER OPSD 802.030, 802.031, 802.032 FOR RIGID PIPE AND WHICHEVER SOIL TYPE IS APPLICABLE.
- EMBEDMENT SHALL BE AS PER OPSD 802.010 (FLEXIBLE PIPE) FOR WHICHEVER SOIL TYPE IS APPLICABLE.
- BEDDING AND EMBEDMENT MATERIAL SHALL BE GRANULAR "A". COVER MATERIAL SHALL BE APPROVED GRANULAR MATERIAL TO 300 MM ABOVE THE TOP OF PIPE.
- BACKFILL UNDER ALL HARD SURFACED AREAS (AND WITHIN 5 METRES OF THE NEW BUILDING) SHALL BE APPROVED IMPORTED GRANULAR MATERIAL TO SUBGRADE AND COMPACTED TO A MINIMUM DRY DENSITY OF 98%. BACKFILL IN LANDSCAPED AREAS (EXCEPT AS NOTED ABOVE) SHALL BE SELECT NATIVE MATERIAL COMPACTED TO A MINIMUM DRY DENSITY OF 95%.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF AS OUTLINED UNDER THE DISPOSAL OF SURPLUS MATERIALS SECTION OF THESE SPECIFICATIONS.
- ALL SERVICE LINES SHALL BE TELEVISION CAMERA INSPECTED, PRIOR TO RESURFACING OF THE STREET, INCLUDING THE PREPARATION OF A REPORT WITH ALL DEFICIENCIES IDENTIFIED AND AS PER OPSS 409.07.05. THE CONTRACTOR WILL ENGAGE A CLOSED CIRCUIT TELEVISION INSPECTION CONTRACTOR AND CO-ORDINATE THE WORK TO HAVE IT COMPLETED PRIOR TO ACHIEVING SUBSTANTIAL PERFORMANCE FOR THE CONTRACT. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR HIRING THE CLOSED CIRCUIT TELEVISION INSPECTION CONTRACTOR DIRECTLY. HOWEVER, THE CLOSED CIRCUIT TELEVISION INSPECTION WORK WILL BE CARRIED OUT UNDER THE SUPERVISION OF, AND TO THE SATISFACTION OF, THE OWNER. ALL WORK SHALL BE IN ACCORDANCE WITH OPSS 409 AND 409.10.
- ALL BEDDING, COVER AND BACKFILL MATERIALS SHALL BE PLACED IN LAYERS PRIOR TO COMPACTING, IN ACCORDANCE WITH OPSS 401.07.10. COMPACTION SHALL BE DONE USING A "HOEPAC" TYPE COMPACTION UNIT.

WATER SERVICE:

ALL INSTALLATIONS TO BE IN ACCORDANCE WITH OPSS 441 AND O.B.C. AND SHALL HAVE A MINIMUM COVER OF 1.7m TO FINISHED GRADE. OPERATION OF THE EXISTING WATER SYSTEM TO BE CARRIED OUT BY OR UNDER THE DIRECTION OF THE OPERATING AUTHORITY.

- WORK PLAN:
 - PRIOR TO SITE ACTIVITIES, THE CONTRACTOR SHALL SUBMIT A WORK PLAN FOR REVIEW BY THE OWNER INCLUDING TESTING PROCEDURE.
 - THE CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR THE REVIEW OF THE WORK PLAN. NO SITE WORK SHALL PROCEED UNTIL THE WORK PLAN HAS BEEN REVIEWED BY THE OWNER.
- THE CONTRACTOR SHALL OBTAIN THE APPROVAL OF THE OPERATING AUTHORITY FOR ANY PROPOSED DISRUPTION OF SERVICE TO MAKE ALL CONNECTIONS TO THE EXISTING DISTRIBUTION SYSTEM.
- ONLY AUTHORIZED OPERATING AUTHORITY PERSONNEL SHALL OPERATE VALVES ON EXISTING WATERMANS FOR THE PURPOSE OF CONTROLLING WATER. NO PERSON OTHER THAN THE AUTHORIZED OPERATING AUTHORITY PERSONNEL SHALL SHUT DOWN OR CHARGE ANY SECTION OF EXISTING WATERMAIN OR OPERATE ANY VALVE FOR THE PURPOSE OF CONTROLLING WATER FROM EXISTING WATERMANS.
- THE CONTRACTOR SHALL PROVIDE THE OPERATING AUTHORITY AT LEAST 48 HOURS ADVANCE NOTICE WHEN A CHANGE IN CONTROL OF THE WATER IS REQUIRED. ALL NECESSARY WATER SUPPLY INTERRUPTIONS SHALL BE SCHEDULED IN CO-OPERATION WITH THE LOCAL OPERATING AUTHORITY.
- THE CONTRACTOR SHALL OPERATE ONLY THOSE VALVES, HYDRANTS AND CURB STOPS INSTALLED IN THEIR CONTRACT DURING THE CONSTRUCTION PERIOD AND PRIOR TO THE DATE OF ACCEPTANCE OF THE CONTRACTOR'S WORK. AFTER THE WORKS ARE ACCEPTED, ONLY THE LOCAL OPERATING AUTHORITY MAY OPERATE THE SYSTEM.
- THE WORK SHALL INCLUDE EXCAVATING FOR, PLACING, ANCHORING AND BLOCKING, CONNECTING, TESTING, FLUSHING AND DISINFECTING ALL SERVICES AND FITTINGS, AS OUTLINED IN OPSS 441 AND RESTORATION OUTSIDE GENERAL GRADING OPERATIONS.
- WORK SHALL INCLUDE ALL GRANULAR BEDDING AND BACKFILL UP TO SUBGRADE AND/OR ORIGINAL GROUND.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PERFORMANCE OF THE PIPE.
- MATERIALS:
 - SERVICES: TYPE "K" COPPER, SEAMLESS.
 - SADDLES: TYPE 304 STAINLESS STEEL, DOUBLE BOLT, AWWA THREAD, 200mm BAND WIDTH, STAINLESS STEEL RODS AND PINS:
 - CAMBRIDGE BRASS, SERIES 8403, OR
 - ROBAR, 2616DB, OR
 - FORD, FS323
 - MAIN STOPS: BALL TYPE, COMPRESSION ASSEMBLY:
 - CAMBRIDGE BRASS, SERIES 301NL (NO LEAD), AWWA x CB COMPRESSION, OR
 - MUELLER 300, NO LEAD, 9-25008, AWWA x MUELLER "CC" COMPRESSION, OR
 - FORD FB-1000-NL, NO LEAD, AWWA x "CC" COMPRESSION.
 - CURB STOPS: INVERTED KEY, BALL STYLE, WITH COMPRESSION JOINT INLET AND COMPRESSION JOINT OUTLET.
 - CAMBRIDGE BRASS, SERIES 202NL (NO LEAD), CB COMPRESSION x CB COMPRESSION, OR
 - MUELLER 300, NO LEAD, MUELLER "CC" x MUELLER "CC" COMPRESSION, OR
 - FORD B44 SERIES, NO LEAD, "CC" COMPRESSION
- CATHODIC PROTECTION:
 - SERVICES: 1-5.5kg ANODE PER EACH EX. OR NEW CURB STOP.
- EXCAVATION:
 - ALL EXCAVATED MATERIAL NOT REQUIRED FOR BACKFILL SHALL BE DISPOSED OF AS OUTLINED UNDER THE DISPOSAL OF SURPLUS MATERIALS SPECIFICATION SECTION.
 - BEDDING SHALL BE CLASS B AS PER OPSD 802.030, 802.031, 802.032 FOR RIGID PIPE AND WHICHEVER SOIL TYPE IS APPLICABLE.
 - EMBEDMENT SHALL BE AS PER OPSD 802.010 (FLEXIBLE PIPE) FOR WHICHEVER SOIL TYPE IS APPLICABLE.
 - BEDDING AND EMBEDMENT MATERIAL SHALL BE GRANULAR "A". COVER MATERIAL SHALL BE APPROVED GRANULAR MATERIAL TO 300 MM ABOVE THE TOP OF PIPE.
 - BACKFILL UNDER ALL HARD SURFACED AREAS (AND WITHIN 5 METRES OF THE NEW BUILDING) SHALL BE APPROVED IMPORTED GRANULAR MATERIAL TO SUBGRADE AND COMPACTED TO A MINIMUM DRY DENSITY OF 98%. BACKFILL IN LANDSCAPED AREAS (EXCEPT AS NOTED ABOVE) SHALL BE SELECT NATIVE MATERIAL COMPACTED TO A MINIMUM DRY DENSITY OF 95%.
- CLEANING AND TESTING:
 - CLEANING, TESTING, AND DISINFECTION OF THE WATER SERVICE SHALL BE COMPLETED IN ACCORDANCE WITH THE OBC AND THE OPERATING AUTHORITY FOR THE AREA.

STORM DRAINS:

- MINIMUM 1.2m COVER DEPTH.
- SUPPLY, EXCAVATE FOR, PLACE AND BACKFILL STORM PIPE DRAINS. THE CONTRACTOR SHALL SUPPLY ALL LABOUR, EQUIPMENT AND MATERIALS FOR THE COMPLETE INSTALLATION AND TESTING OF THE STORM SEWERS AS INDICATED ON THE DRAWINGS.
- IF PIPE MATERIAL SELECTED DIFFERS FROM THAT SPECIFIED ON THE DRAWINGS, THE CONTRACTOR SHALL, UPON REQUEST, SUPPLY THE CONSULTANT WITH PROOF OF CSA CERTIFICATION FOR BOTH THE PIPE AND THE ELASTOMERIC GASKETS, ALL AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL SUPPLY THE PIPE IN THE SIZE AND STRENGTH DESIGNATED, AS NOTED.
- BEDDING SHALL BE CLASS B AS PER OPSD 802.030, 802.031, 802.032 FOR RIGID PIPE AND WHICHEVER SOIL TYPE IS APPLICABLE.
- EMBEDMENT SHALL BE AS PER OPSD 802.010 (FLEXIBLE PIPE) FOR WHICHEVER SOIL TYPE IS APPLICABLE.
- BEDDING AND EMBEDMENT MATERIAL SHALL BE GRANULAR "A". COVER MATERIAL SHALL BE APPROVED GRANULAR MATERIAL TO 300 MM ABOVE THE TOP OF PIPE.
- BACKFILL UNDER ALL HARD SURFACED AREAS (AND WITHIN 5 METRES OF THE NEW BUILDING) SHALL BE APPROVED IMPORTED GRANULAR MATERIAL TO SUBGRADE AND COMPACTED TO A MINIMUM DRY DENSITY OF 98%. BACKFILL IN LANDSCAPED AREAS (EXCEPT AS NOTED ABOVE) SHALL BE SELECT NATIVE MATERIAL COMPACTED TO A MINIMUM DRY DENSITY OF 95%.
- ALL EXCAVATED MATERIAL NOT REQUIRED FOR BACKFILL SHALL BE DISPOSED AS OUTLINED UNDER THE DISPOSAL OF SURPLUS MATERIALS SECTION OF THESE SPECIFICATIONS.
- THE CONTRACTOR WILL BE REQUIRED, AT HIS OWN EXPENSE, TO MAKE ALL CONNECTIONS TO NEW AND EXISTING CATCH BASINS, MAINTENANCE HOLES, CULVERTS, OR SEWERS (REGARDLESS OF PIPE MATERIAL) IN AN APPROVED MANNER.
- NO DIRECT CONNECTION OF BUILDING FOUNDATION DRAIN, FLOOR DRAINS OR SUMP TO THE EXTERIOR STORM DRAIN LINE. SEE TOWNSHIP OF SOUTHGATE, STANDARD DRAWING S2.
- DOWNSPOUTS TO DISCHARGE ABOVE GRADE INTO THE STORM DRAIN LINE IN AN APPROVED MANNER.

SEDIMENT AND EROSION CONTROL NOTES:

- PROTECT ALL EXPOSED SURFACES AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES ARE TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION IS COMPLETE.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION.
- ALL COLLECTED SEDIMENT MUST BE DISPOSED OF AT AN APPROVED LOCATION.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION. ALL DEWATERING MUST BE DISPOSED OF IN AN APPROVED MANNER.
- PROTECT ALL CATCH BASINS, MAINTENANCE HOLES AND PIPE ENDS FROM SEDIMENT INTRUSION WITH GEOTEXTILE (TERRAFIX 270R).
- KEEP ALL SUMPS CLEAN DURING CONSTRUCTION.
- PREVENT WIND-BLOWN DUST.
- ALL OF THE ABOVE NOTES AND ANY SEDIMENT & EROSION CONTROL MEASURES ARE AT THE MINIMUM TO BE IN ACCORDANCE WITH THE MINISTRY OF NATURAL RESOURCES GUIDELINES ON EROSION AND SEDIMENT CONTROL FOR URBAN CONSTRUCTION SITES.

Drawing #10 Dated October 7, 2020



Design By: G.A.F. Checked By: F.C.V.



No.	DATE	REVISION
1	June 5, 2018	Issued Preliminary for Review
2	June 20, 2018	Issued to Client for SPA Submission
3	Nov. 2, 2018	Issued for Building Permit Application
4	Dec. 19, 2019	Revised (Smaller Building)



Goderich Mount Forest Sarnia

**Rexall Pharmacy
(Dundalk)**

Notes

Scale (24x36) N.T.S.	Project No. 18052 Drawing No. 4
-------------------------	--