

The Corporation of the Township of Southgate
By-law Number 2022-031

Being a by-law to authorize the execution of a Site Plan Control Agreement

Whereas Section 41 of the Planning Act, RSO 1990, Chapter P.13 as amended authorizes municipalities to designate areas of Site Plan Control, and to subsequently enter into agreements with respect to the conditions of development or redevelopment of lands in areas of Site Plan Control; and

Whereas all of the lands within the Township are designated as a Site Plan Control Area pursuant to the provisions of Section 41 of the Planning Act and By-law 2021-111; and

Whereas the Council of the Township of Southgate deems it expedient to enter into a Site Plan Agreement with the owner,

Now therefore be it resolved that the Council of the Corporation of the Township of Southgate enacts as follows:

1. **That** a Site Plan Agreement between 2137569 Ontario Inc and the Township of Southgate for the development of the lands described as Part Lot 235-236 Concession 2 SWTSR, Being Parts 1 & 6, Plan 16R11609, Subject to an Easement over Part 1 In GY70526, Township of Southgate is authorized. Such agreement being attached hereto as Schedule "A" and which forms a part of this by-law;
2. **That** the Mayor and Clerk are authorized to sign the Site Plan Agreement on behalf of the Council of the Corporation of the Township of Southgate in substantially the form as that set out in Schedule A;
3. **That** the Clerk is authorized and directed to cause notice of the Site Plan Agreement to be registered on the title to the said lands forthwith after it has been signed by all parties; and
4. **That** this By-law shall come into full force and effect upon the final passing hereof.

Read a first and second time this 2nd day of March 2022.

Read a third time and finally passed this 2nd day of March 2022.

Mayor – John Woodbury

Clerk- Lindsey Green

THE CORPORATION OF
THE TOWNSHIP OF SOUTHGATE

SITE PLAN AGREEMENT

THIS AGREEMENT made in triplicate this_____ day of_____, 2021

Between: 2137569 Ontario Inc

(hereinafter called the "OWNERS" OF THE FIRST PART)

- and -

THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE

(hereinafter called the "TOWNSHIP" OF THE SECOND PART)

WHEREAS the OWNERS represents that they are the owners of these lands and premises in the Township of Southgate in the County of Grey, being more particularly described in s Schedule "A"

AND WHEREAS the OWNERS have applied to the TOWNSHIP to permit development on the OWNER'S lands;

AND WHEREAS the Encumbrancer(s) (if any) hold registered security interests in the lands and all Encumbrancers of the lands are included as parties to this Agreement

AND WHEREAS the OWNERS have agreed with the TOWNSHIP to furnish and perform the works, material, matters and things required to be done, furnished and performed in the manner hereinafter described in connection with the proposed use of the subject lands;

AND WHEREAS the said lands have been designated by the Council of the TOWNSHIP as being within a site plan control area as provided by Section 41 of the Planning Act, R.S.O. 1990, as amended;

NOW THEREFORE witnesseth that in consideration of other good and valuable consideration and the sum of one ----(\$1.00)-----DOLLAR of lawful money of Canada now paid by the TOWNSHIP to the OWNER, the receipt whereof is hereby acknowledged, the OWNERS and the TOWNSHIP covenant, declare and agree as follows:

SECTION 1 - LANDS TO BE BOUND

1. The lands to be bound by the terms and conditions of this Agreement (sometimes referred to as "the subject lands"), are located in the geographic Village of Dundalk, in the TOWNSHIP OF SOUTHGATE, and are more particularly described in Schedule "A".

SECTION II - COMPONENTS OF THE AGREEMENT

1. The text and the following Schedules, which are annexed hereto, constitute the components of this Agreement.

Schedule "A" - Legal Description of the Lands being developed.

Schedule "B" - Site Plan(s)

Schedule "C" – Description of Securities

SECTION III - REGISTRATION OF AGREEMENT

1. This Agreement shall be registered on title to the said lands as provided for by Section 41(10) of the Planning Act, R.S.O., 1990, as amended, at the expense of the OWNERS;
2. The OWNERS agree that all documents required herein shall be submitted in a form suitable to the TOWNSHIP and suitable for registration, as required;
3. The PARTIES agree that this Agreement must be registered against the OWNERS' lands within thirty (30) days of the execution thereof by both parties.

SECTION IV - BUILDING PERMITS

1. The OWNERS agree to not request the Chief Building Official to issue any further building permits to carry out the development until this Agreement has been registered on title to the lands described in Schedule "A" attached hereto and a registered copy of same has been provided to the Township.
2. It is agreed that if the OWNERS fail to apply for any building permit or permits to implement this Agreement within 12 months from the date upon which such building permit would be available, then the TOWNSHIP, at its option has the right to terminate the said Agreement and require that a new Site Plan Agreement be submitted for approval and execution.

SECTION V - PROVISIONS

1. **THIS AGREEMENT** applies to works related to the entire subject lands and includes the exterior of existing buildings, new structures, drainage and servicing and entrance as required. Agricultural and residential uses are not applicable to this Site Plan Agreement in accordance with section 41 of the Planning Act and By-law 47-2007.
2. **THE OWNERS** further covenant and agree to develop the subject lands in accordance with the Site Plan being Schedule "B" attached hereto, and that no work will be performed on the subject lands except in conformity to all provisions of this Agreement.
3. **THE OWNERS** agree to carry out on the lands at the work, and to construct, install and maintain at its expense all of the services, works and facilities stipulated, described by words and numbers, and shown in and upon the following Plans, that is:

(i) Submitted Site Plan Drawings;

which Plan is hereinafter called "the Site Plan." Notwithstanding the generality of the foregoing the requirements under this agreement include all of the notes and printed text contained in and on the Plans making up the Site Plan.

4. **FURTHER DESCRIPTION OF WORK AND LOCATION OF SITE PLAN.** Without limiting the generality of the foregoing, all of the specifications and said requirements contained in the said Site Plan, which is on file at Southgate's Municipal Office, shall be adhered to and satisfied by the Owner to the satisfaction of Southgate.
5. **EXTERIOR FASCIA.** The owner agrees to construct buildings in accordance with submitted drawings. Significant alterations to the exterior of the building or site may require amendments to this agreement to update drawings.
6. **STORM DRAINAGE -- GENERAL.** Notwithstanding the foregoing, the Owner agrees that the storm drainage system on and for the lands shall be designed and constructed to the satisfaction of Southgate at the expense of the Owner.

7. **ENTRANCE.** The entrance to the property is from Eco Parkway. A Commercial Entrance permit is required and a paved apron between the edge of pavement and the property line is required at the expense of the owner.

8. **FIRE SUPPRESSION.** The owner agrees to install all necessary servicing and equipment, including hydrants, on the property for fire fighting and fire suppression including, if required, a water reservoir, at the owners expense.

9. **SERVICING.** The owner is responsible for ensuring that property is connected to municipal water and sewer services and that any connection fees are paid at the owners expense.

10. **LANDSCAPED BUFFERING.** The owner agrees to install all landscaping in accordance with the landscaping plan attached in schedule B of this agreement. The landscaping shall be maintained for the purpose of providing a visual buffer of the buildings to the residential lots on the western edge of the property.

11. **OUTSIDE STORAGE.** Outside storage may only be located in the areas identified on the Site Plan. Stacking in the outside storage area is limited to a maximum height of 3m and in no case will it be higher than the eaves of the workshop.

12. **DUST CONTROL MEASURES.** The owner agrees to provide for dust control measures such as calcium and water, to mitigate impacts as required by the Township of Southgate. These measures will be required for those areas of the site not asphalted or seeded with grass.

13. **LIGHTING.** All exterior lighting must be dark sky compliant. It must be pointed downward and remain internal to the site in accordance with the Township of Southgate Standards.

14. **SECURITIES** To insure that external works and landscaping are completed along with site grading, securities shall be provided just prior to registration of the agreement on title in accordance with schedule C.

15. **POSTPONEMENT AND SUBORDINATION OF ENCUMBRANCES.** The Owner covenants and agrees, at its own expense, to obtain and register such documentation from its mortgagees or those holding encumbrances as may be deemed necessary by Southgate to postpone and subordinate their interest in the lands to the interest of Southgate to the extent that this Agreement shall take effect and have priority as if it have been executed and registered prior to the execution and registration of any such mortgages or encumbrances.

16. **SOUTHGATE'S PROFESSIONAL FEES AND DISBURSEMENTS.** The Owner shall reimburse Southgate for all of its engineering and legal expenses (professional fees and disbursements) in connection with the development and implementation of this Agreement.

17. **WAIVER.** The failure of Southgate at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by Southgate of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Southgate shall specifically retain its rights at law to enforce this Agreement.

18. **NO CHALLENGE TO THE AGREEMENT.** The parties covenant and agree with each other not to call into question or challenge, directly or indirectly, in any proceeding or action in court, or before any administrative tribunal, the parties' right

to enter into and force this Agreement. The law of contract applies to this Agreement and the parties are entitled to all remedies arising from it, notwithstanding any provisions in Section 41 of the Planning Act interpreted to the contrary. The parties agree that adequate consideration has flowed from each party to the other and that they are not severable. This provision may be pleaded by either party in any action or proceeding as an estoppel of any denial of such right.

19. **ENFORCEMENT.** The Owner acknowledges that Southgate, in addition to any other remedy it may have at law, may also be entitled to enforce this Agreement in accordance with Section 446 of the **Municipal Act, 2001** as amended.

20. **MEDIATION.** Without affecting Southgate's statutory right under subsection 41(11) of the said **Planning Act** to, at its complete discretion, invoke the provisions of Section 446 of the **Municipal Act, 2001** as amended regarding any applicable requirement herein in which case this paragraph shall be inoperative and inapplicable, in the event that a dispute relating to this Agreement or its implementation arises that cannot be resolved by negotiation between the parties, the parties agree to use the services of a mediator to attempt to resolve their differences and failing agreement on the procedure to be followed, it shall be conducted in accordance with the rules of procedure for the conduct of mediations of the ADR Institute of Ontario Inc. or its successor body.

21. **REGISTRATION.** The Owner consents to the registration of this Agreement or Notice of this Agreement by Southgate on the title to the lands.

22. **ENUREMENT CLAUSE.** The covenants, agreements, stipulations, declarations, and provisions contained herein shall run with the lands and shall be binding upon the Owner and its successors and assigns and the benefit thereof shall enure to Southgate and its successors and assigns.

SECTION VI - BINDING PARTIES, ALTERATION, AMENDMENT, EFFECT, NOTICE, PENALTY

1. This Agreement may only be amended or varied by a written document of equal formality herewith duly executed by the parties hereto and registered against the title to the subject lands.

2. The OWNER further agrees to complete the items detailed on Schedule "B" within two (2) years of the date of registration of this Agreement.

3. Following completion of the works, the OWNER shall maintain to the satisfaction of the TOWNSHIP, and at the sole expense of the OWNER, all the facilities or works described in Schedule "B".

4. This Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of each of the PARTIES hereto.

5. The Agreement shall come into effect on the date of execution by the TOWNSHIP.

6. The OWNER acknowledges that this Agreement is entered into under the provisions of Section 41(7)(c) of the Planning Act, R.S.O., 1990, as amended.

7. Any notice required to be given pursuant to the terms hereto shall be in writing and mailed or delivered to the other at the following address:

AND IN WITNESS WHEREOF the natural parties hereto have hereunto set their hands and seals. Signing authorized by By-law 2022-031.

Witness

**THE CORPORATION OF THE
TOWNSHIP OF SOUTHGATE**

We have authority to bind the corporation

Schedule "A"

THE LAND

All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Southgate, in the County of Grey and Province of Ontario, and being composed of:

**Part Lot 235-236 Concession 2 SWTSR, Being Parts 1 & 6,
Plan 16R11609, Subject to an Easement over Part 1 In
GY70526 , Geographic Village of Dundalk, Township of
Southgate.**

Schedule "B"

SITE PLANS

- Drawing #1. Dated March 2nd, 2022 and signed by the planner
- Drawing #2. Dated March 2nd, 2022 and signed by the planner
- Drawing #3. Dated March 2nd, 2022 and signed by the planner
- Drawing #4. Dated March 2nd, 2022 and signed by the planner
- Drawing #5. Dated March 2nd, 2022 and signed by the planner
- Drawing #6. Dated March 2nd, 2022 and signed by the planner
- Drawing #7. Dated March 2nd, 2022 and signed by the planner
- Drawing #8. Dated March 2nd, 2022 and signed by the planner
- Drawing #9. Dated March 2nd, 2022 and signed by the planner
- Drawing #10. Dated March 2nd, 2022 and signed by the planner
- Drawing #11. Dated March 2nd, 2022 and signed by the planner
- Drawing #12. Dated March 2nd, 2022 and signed by the planner
- Drawing #13. Dated March 2nd, 2022 and signed by the planner
- Drawing #14. Dated March 2nd, 2022 and signed by the planner
- Drawing #15. Dated March 2nd, 2022 and signed by the planner

Schedule "C"

PAYMENTS TO BE MADE

AND

SECURITIES TO BE PROVIDED TO THE TOWNSHIP

<u>PAYMENTS TO THE TOWNSHP</u>	<u>DUE DATE</u>
Building Deposit	Upon Building Permit issuance
Development and Education Charges	Upon Building Permit issuance

In addition, The developer shall provide securities in the amount of \$560 950.00 in accordance with the attached securities estimates. These securities shall be provided in the form of an irrevocable standby letter of credit. A draft of a letter of credit has been provided in this section of the agreement.

1. The Securities below are to outline additional securities amount require to support this agreement, and to be reviewed and updated prior to registration of this agreement.

Triton Engineering Services Limited
Cost Estimate
Ice River Sustainable Solutions
Construction of Proposed Industrial Facility
Eco Parkway, Dundalk, Township of Southgate

SECTION I - EXTERNAL WORKS					
1.01	Traffic Control	100 %	L.S.	\$500.00	\$500.00
1.02	Topsoil Stripping	120	m ²	\$20.00	\$2,400.00
1.03	Supply, Excavate for and Install 375 mm Diameter HDPE Culvert	40	m	\$150.00	\$6,000.00
1.04	Break Into and Connect to ExistingSanitary Maintenance Hole	1	Each	\$1,750.00	\$1,750.00
1.05	Supply, Excavate For and Install 200 mm Diameter Sanitary Sewer	14	m	\$150.00	\$2,100.00
1.06	Construct 1200 mm DiameterMaintenance Hole (OPSD-701.010)	1	Each	\$4,500.00	\$4,500.00
1.07	Supply and Install MaintenanceHole Frame and Cover (OPSD-401.010, Type "A")	1	Each	\$350.00	\$350.00
1.08	Connection To Existing Watermain	1	each	\$7,000.00	\$7,000.00
1.09	Supply, Excavate For and Install150 mm Dia. (DR-18, CL 150 PVC) Ring- Tite Watermain	8	m	\$150.00	\$1,200.00

	Including Tracer Wire				
1.10	Supply, Excavate For and Install 150 mm Dia. Gate Valve and Box	2	Each	\$1,500.00	\$3,000.00
1.11	Supply and Install Anodes (DZP-12, 5.4 Kg) On Iron Fittings and Valves	3	Each	\$100.00	\$300.00
1.12	Supply, Excavate For and Install 50 mm Dia. Water Service Including Connection To Existing PVC Watermain Including 50 mmX 75 mm Marker At Property Line	1	Each	\$2,500.00	\$2,500.00
1.13	Construct Driveway Entrance including Granulars and Restoration				
	i) North	100 %	L.S.	\$3,800.00	\$3,800.00
	ii) South	100 %	L.S.	\$4,300.00	\$4,300.00
SUB-TOTAL - SECTION I - EXTERNAL WORKS					\$39,700.00

SECTION II - INTERNAL SITE WORKS

2.01	Sediment and Erosion Control	100%	L.S.	\$20,000.00	\$20,000.00
2.02	Grading	45,000	m ²	\$5.00	\$225,000.00
2.03	Topsoil from Stockpile	45,000	m ²	\$4.00	\$180,000.00
2.04	Hydraulic Seed and Mulch	45,000	m ²	\$0.50	\$22,500.00
SUB-TOTAL - SECTION II - INTERNAL SITE WORKS					\$447,500.00

SECTION III - LANDSCAPING

3.01	Topsoil (Imported) For Landscape Area (500 mm Depth)	2,250	m ²	\$10.00	\$22,500.00
3.02	Plantings	100%	L.S.	\$15,000.00	\$15,000.00
3.03	Trees	100%	L.S.	\$25,000.00	\$25,000.00
3.04	Mulch For Landscape Area	2,250	m ²	\$5.00	\$11,250.00
SUB-TOTAL - SECTION III - LANDSCAPING					\$73,750.00

SUMMARY

SUB-TOTAL - SECTION I - EXTERNAL WORKS					\$39,700.00
SUB-TOTAL - SECTION II - INTERNAL SITE WORKS					\$447,500.00
SUB-TOTAL - SECTION III - LANDSCAPING					\$73,750.00
TOTAL (EXCLUDING HST)					\$560,950.00

FORM "2"

Your Name & Address

Date of Issue:
Irrevocable Standby Letter of Credit

Reference No:

APPLICANT

BENEFICIARY:
THE CORPORATION OF THE TOWNSHIP OF
SOUTHGATE
185667 Grey Cty Rd 9
RR 1 Dundalk On N0C 1B0

AMOUNT:
MAXIMUM in Canadian Dollars:

We hereby authorize you to draw on (Bank & Address) for Account of (Applicant), up to an aggregate amount of (amount) (CAD) of lawful money of Canada available by Draft(s) on demand.

Pursuant to the request of our customer, (applicant), we, (bank) hereby establish and give to you an irrevocable standby letter of credit (the "credit") in your favour in the total amount of (amount) Canadian dollars pursuant to the agreement between the Township of Southgate and (applicant) dated (date) with respect to *the total cost of all development works and engineering costs* [wording to be amended to as necessary to identify purpose of the Letter of Credit i.e. as an assurance that required works will be completed in Article 10 or to act as a building deposit pursuant to Article 14]

This credit may be drawn on by you at any time and from time to time upon written demand for payment made upon us by you which demand we shall honour without enquiring whether you have a right as between yourself and our said customer to make such demand and without recognizing any claim of our said customer.

The amount of this credit shall be reduced from time to time as advised by notice in writing given to us from time to time by you.

This credit will continue up to the (date), subject to the following condition:

It is a condition of this credit that it shall be deemed to be automatically extended without amendment for one year from the present or any future expiry date hereof, unless at least 30 days prior to such expiry date, we notify you in writing by registered mail, that we elect not to consider this credit to be renewable for an additional period. Upon receipt by you of such notice, you may draw hereunder by means of your signed written demand for payment.


Partial Drawings are permitted.

Drafts must be shown and negotiated not later than the (date) or automatically extended date.

ARCH full bleed D (36.00 x 24.00 inches)

PLAN 16R-11609
Received and deposited
October 27th, 2021
Vanessa Williams
Representative for the
Land Registrar for the
Land Titles Division of
Grey (No.16)

SCALE 1 : 750



0 10 20 30 40 50 metres

VAN HARTEN SURVEYING INC.

THE INTENDED PLOT SIZE OF THIS PLAN IS 12" IN WIDTH BY 914 mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:750

LEGEND:	
ALPHA	BETA
	DNOTES SURVIVY MONUMENT SET
	DNOTES MONUMENT FOUND
SIB	DNOTES 025 X 025 X 1.20 STANDARD IRON BAR
IB	DNOTES 015 X 015 X 0.60 IRON BAR
SSIB	DNOTES 025 X 025 X 0.60 SHORT STANDARD IRON BAR
RP	DNOTES 015 DIA. X 0.07 ROUND IRON BAR WITH STAMPER WASHER
PB	DNOTES 025 X 025 X 0.30 PLASTIC BAR
CC	DNOTES CUT CROSS
WT	DNOTES WITNESS
OU	DNOTES ORIGIN UNKNOWN
	DNOTES WASHINGTON SURVEYING INC., D.L.S.'S
P1	DNOTES PLAN 168-0964
P2	DNOTES PLAN 168-10235
P3	DNOTES PLAN 168-9306
P4	DNOTES PLAN 168-9654
1231	DNOTES P.A. WISDON, D.L.S.
1211	DNOTES P.J. WILLIAMS, D.L.S.
1253	DNOTES D.I. CULLEN, D.L.S.
SOP	DNOTES SET ON PRODUCTION

1. BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATION AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
2. DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.99996.
3. COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

THESE COORDINATE VALUES COMPLY WITH SECTION 14(2) O.R.G. 216/10. THESE COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

FOR THE PURPOSES OF BEARING COMPARISONS, PREVIOUS SURVEYS HAVE BEEN
ROTATED TO UTM BEARINGS BY THE ANGLES SHOWN BELOW.

METRIC:
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.


I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 8TH OF OCTOBER, 2021.

MATT DE JAGER
ONTARIO LAND SURVEYOR

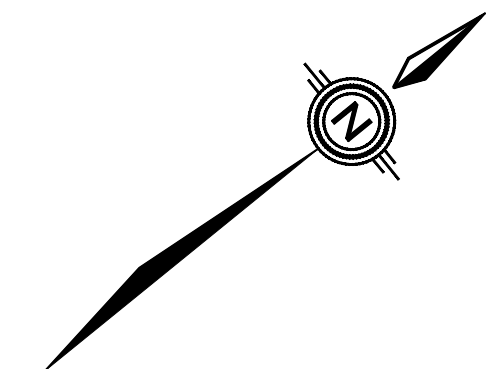


Van Harten
SURVEYING INC.

 LAND SURVEYORS AND ENGINEERS		
Kitchener/Waterloo Ph: 519-824-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: FCF	CHECKED BY: MDJ	PROJECT NO: 30155-21
Oct 8, 2021 1:54:46 PM L:\Protom\Con 2 S\WTSR\ACAD\R\RP L\TS35-240.SOUTHGATE\30155-21.DWG 2010.02M		



Drawing #2 Dated March 2, 2022



Drawing #3 Dated March 2, 2022

GENERAL NOTES

1. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY WILSON FORD, 2017.
2. LEGAL SURVEY INFORMATION PROVIDED BY VAN HARTEN, NOVEMBER 22, 2021.
3. OVERALL SITE LAYOUT/CONFIGURATION PROVIDED BY ICE RIVER SUSTAINABLE SOLUTIONS, RECEIVED JANUARY 21, 2022.
4. ALL DIMENSIONS, ELEVATIONS, AND INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION COMMENCEMENT.
5. ALL CONSTRUCTION AND MATERIALS TO CONFORM TO TOWNSHIP, COUNTY AND PROVINCIAL STANDARDS.
6. MINIMUM 150mm OF IMPORTED TOPSOIL AND SOD SHALL BE PLACED WHERE HARD SURFACE IS NOT PROPOSED, SLOPES NOT TO EXCEED 3:1.
7. ALL PARKING LOT, TRUCK LOADING AND TRUCK YARD AREAS PAVEMENT DESIGN TO BE 800mm OF GRANULAR "B", 150mm OF GRANULAR "A", 75mm H.L. OR H.L. AND 50mm OF H.L. AS RECOMMENDED BY CMT GEOTECHNICAL INVESTIGATION "PHASE 1" CONSTRUCTION OF NEW FACILITY FOR ICE RIVER SUSTAINABLE SOLUTIONS ECO PARKWAY DUNDALK ONTARIO" CMT PROJECT 21-061801 DATED ON FEBRUARY 14, 2022. ALL BUILDING DOWNSPOUTS/ROOF LEADERS ARE TO BE ROUTED OVERLAND TO THE STORMWATER MANAGEMENT POND.
8. ALL SERVING SHALL BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH THE MUNICIPALITY, ONTARIO BUILDING CODE, AND APPROPRIATE PROVINCIAL STANDARDS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONSTRUCTION SEQUENCING PLAN TO THE TOWNSHIP OF SOUTHGATE PRIOR TO CONSTRUCTION.
10. GAS, COMMUNICATIONS AND HYDRO SERVICES ARE TO BE CONFIRMED AT TIME OF CONSTRUCTION.
11. TOWNSHIP IS TO BE NOTIFIED IN ADVANCE OF ANY WORK BEING CONDUCTED WITHIN THE ROAD ALLOWANCE.
12. SEE LP-01 FOR LANDSCAPING DETAILS.

STORMWATER NOTES:

1. ALL 375mm^Ø STORM SEWER PIPE OR SMALLER TO BE PVC SDR 35 UNLESS SPECIFIED OTHERWISE. ALL 450mm^Ø STORM SEWER PIPE OR LARGER TO BE CONCRETE, CONFORMING TO CSA A581.1 STANDARDS.
2. ALL CULVERTS TO BE A MINIMUM 375mm^Ø HOPE BOSS 2000, 320 kPa STIFFNESS C/W ULTRA STAB 75 JOINT.
3. BEDDING FOR STORM SEWER PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. CATCH BASIN SHALL BE PRECAST CONCRETE AS PER OPSD 705.010 COMPLETE WITH FRAME AND GRATE AS PER OPSD 400.100.
5. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 701.010(1200mm^Ø), 701.010(1800mm^Ø) OR 701.010(2400mm^Ø), COMPLETE WITH FRAME AND GRATE/COVER AS PER OPSD 400.110(GRATE) OR 401.010(COVER).
6. THE OWNER IS RESPONSIBLE TO ENSURE STORMWATER MANAGEMENT FEATURES ARE OPERATING AND ADEQUATELY MAINTAINED.
7. SEE SWM-01 FOR STORMWATER MANAGEMENT FACILITY PLAN AND OUTLET STRUCTURE DETAILS.
8. DOWNSPOUTS FOR BUILDINGS TO OUTLET AT GRADE DIRECTED TOWARDS STORMWATER MANAGEMENT FACILITY.

SANITARY NOTES:

1. ALL SANITARY SEWER PIPE TO BE PVC 200mm^Ø SDR 35 UNLESS SPECIFIED OTHERWISE.
2. CONNECTIONS FOR SANITARY SEWER TO BE KOR-_N-SEAL FOR MANHOLES AND PREFAB TEES FOR PVC PIPE.
3. BEDDING FOR SANITARY SEWER PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 705.010 COMPLETE WITH FRAME AND COVER AS PER OPSD 400.100.
5. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 701.010(1200mm^Ø) COMPLETE WITH FRAME AND COVER AS PER OPSD 401.010(TEE "A").
6. MAINTENANCE HOLES SHALL BE BENCHES AS PER OPSD 701.021.

WATERMAIN NOTES:

1. WATERMAIN PIPE TO BE MIN. 150mm^Ø C900 PVC CLASS 235 (OR 18), B 137.3 AND TRACER WIRE OR APPROVED EQUIVALENT.
2. MINIMUM COVER FOR MAINS AND SERVICE TO BE 2.0.
3. BEDDING FOR WATERMAIN PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. VALVE AND BOX TO BE MUELLER RESILIENT WEDGE GATE VALVE AWWA OR APPROVED EQUIVALENT.
5. CONNECTION TO MUNICIPAL WATERMAIN TO BE REVIEWED AND APPROVED BY TOWNSHIP WATER DEPARTMENT.

LIGHTING NOTES:

1. WALL MOUNTED LUMINAIRES TO BE PLACED AS SHOWN ON DRAWING.
2. EMERGENCY EXIT LIGHTS TO BE PLACED ABOVE ALL MAIN DOORS ON BUILDING.
3. LIGHT STANDARDS TO BE PLACED AS SHOWN ON DRAWING, LUMINAIRES TO BE INSTALLED WITH HOUSE SIDE SHIELD.

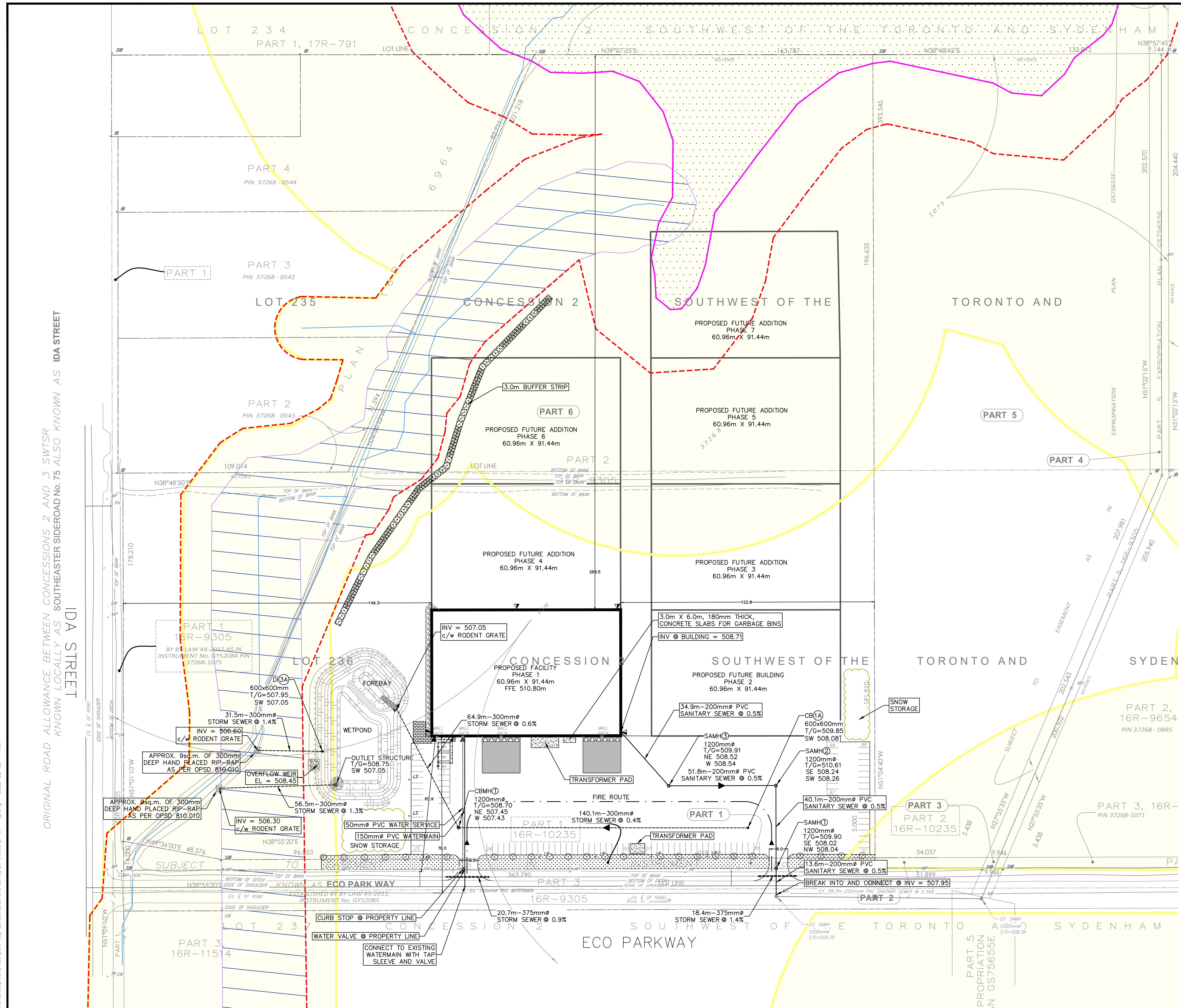
SITE PLAN INFORMATION:

1. LANDS ARE ZONED M1 AND EP.
2. SITE PLAN FOR FIRST PHASE ONLY - HOWEVER THE ATTACHED PLAN SHOWS PROPOSED FUTURE PHASES.
3. PARKING - (5.75 X 2.75)
4. INDUSTRIAL USE - 5 SPACES PLUS 1 PER 50 SQUARE METRES OF GROSS FLOOR AREA + 117 SQM = 8 SPACES
5. WAREHOUSE USE - 1 PER 185 SQUARE METRE (1,991.3 SQ. FEET) OF GROSS FLOOR AREA + 5456 SQM = 30 SPACES
6. ACDA WOULD REQUIRE 3 BARRIER FREE SPACES.

ZONING REQUIREMENTS		
M1 ZONE	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	30.0 m (IDA ST.)	178.2 m
MINIMUM LOT AREA	1860 sq. m	112036 sq. m
MAXIMUM LOT COVERAGE	50%	5%
MINIMUM FRONT YARD	15.0 m (IDA ST.)	149.3 m
MINIMUM INTERIOR SIDE YARD	7.5 m (NORTH BOUNDARY)	268.5 m
MINIMUM EXTERIOR SIDE YARD	11.0 m (ECO PARKWAY)	76.0 m
MINIMUM REAR YARD	7.5 m (WEST BOUNDARY)	122.8 m
MAXIMUM HEIGHT	11.0 m	11.0 m
PARKING SPACES	38	100(3 BARRIER FREE)
LOADING SPACES	3	12

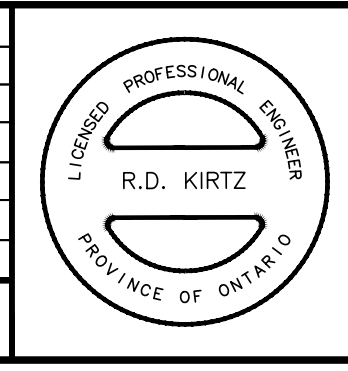
LEGEND:

- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- REGULATED WATERCOURSE (GRCA)
- ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)
- PROPOSED BUILDING
- ESTIMATED FLOODPLAIN (GRCA)
- REGULATION LIMIT (GRCA)
- SNOW STORAGE
- NEW BUILDING
- WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRES



DISCLAIMERS:
1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGES.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.



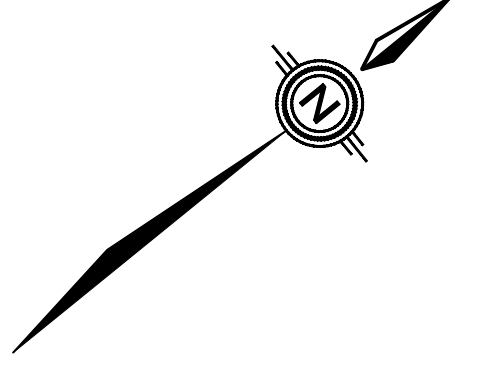
CONSTRUCTION OF PROPOSED INDUSTRIAL FACILITY
ECO PARKWAY, DUNDALK ON, NOC 1B0
(TOWNSHIP OF SOUTHGATE)

ICE RIVER SUSTAINABLE SOLUTIONS
485387 30 SIDEROAD,
SHELburne ONTARIO, L9V 3N5
**SITE SERVICING PLAN
(PHASE 1)**

PROJECT No
A4181A
DESIGNED BY: M.R.K.
CHECKED BY: P.F.Z.
APPROVED BY: R.D.K.
DATE: FEBRUARY 2022



SCALE:
H:1:1000 H:1:2000
V:1:50 V:1:100
(8'x24") (17'x117")
UNLESS OTHERWISE SHOWN
DRAWING NUMBER SS-01



Drawing #4 Dated March 2, 2022

GENERAL NOTES

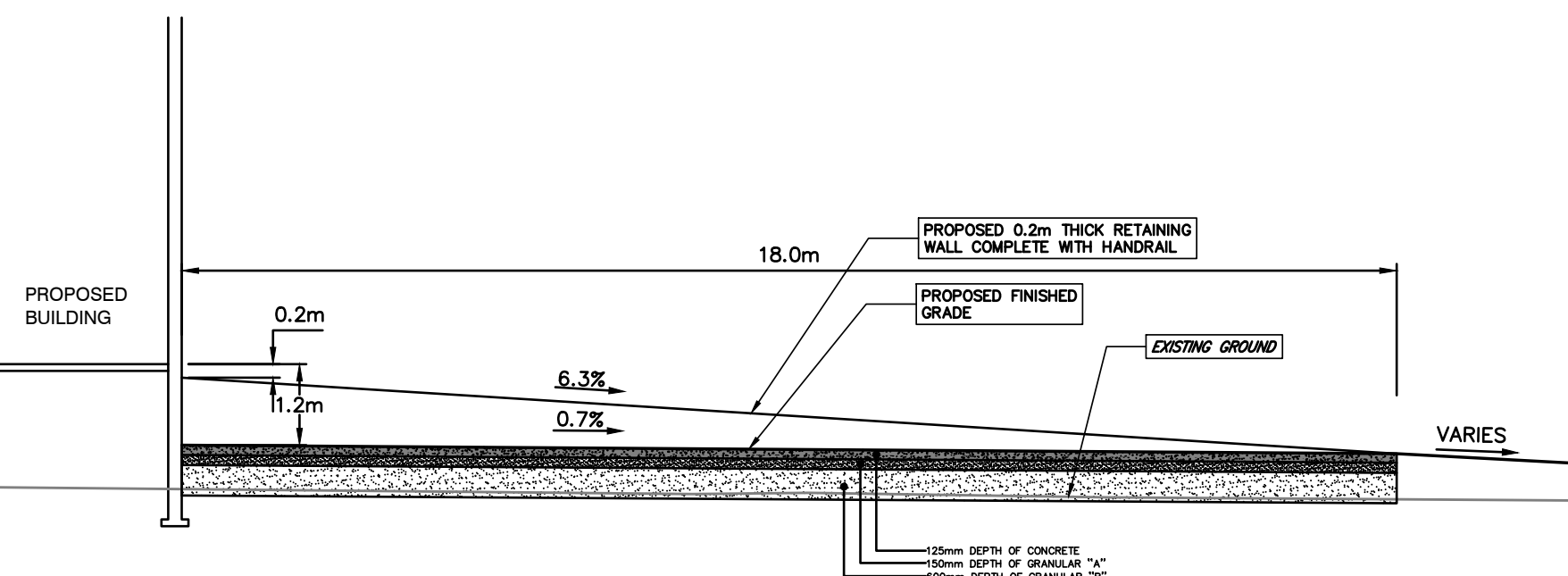
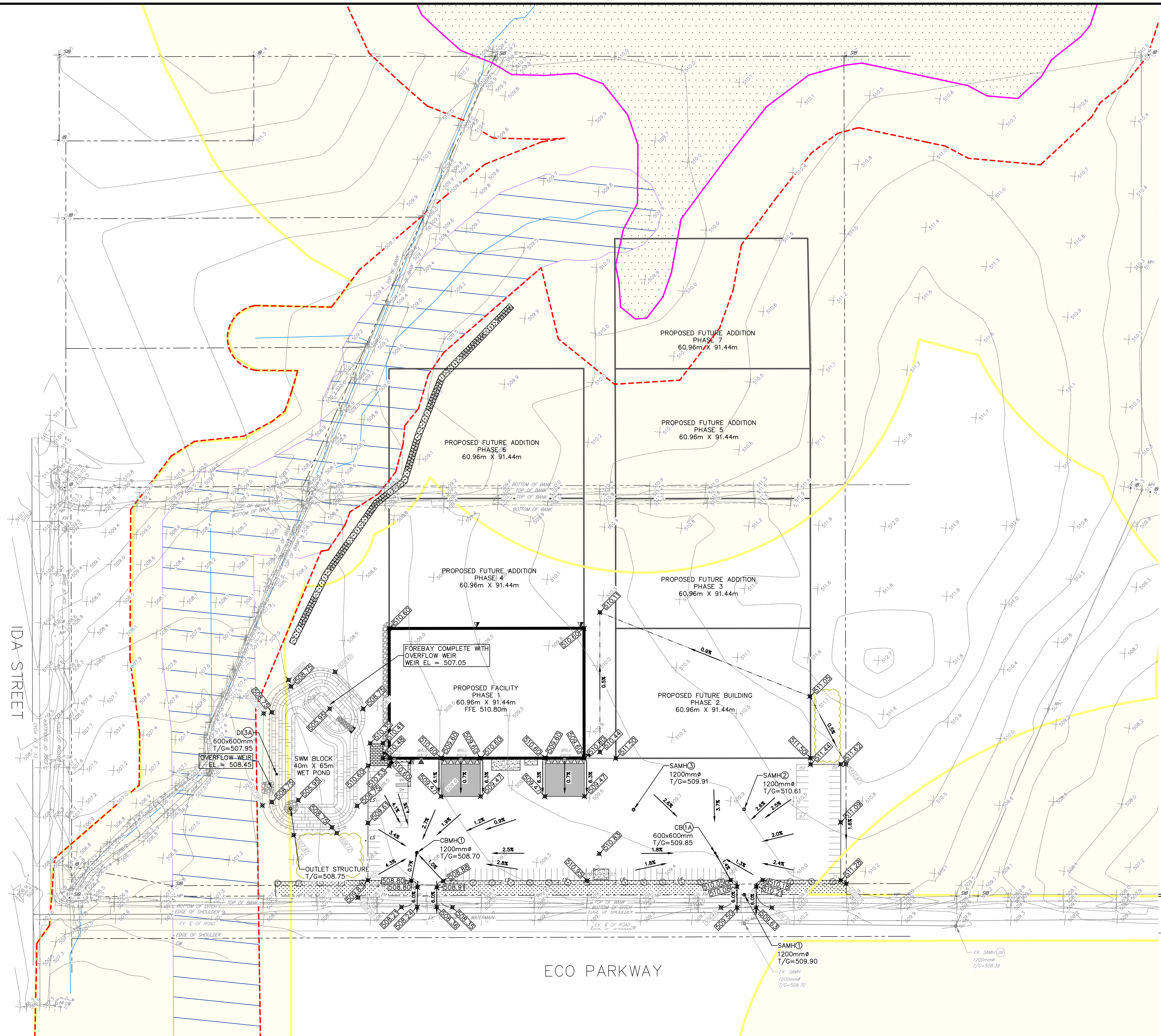
1. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY WILSON FORD, 2017.
2. LEGAL SURVEY INFORMATION PROVIDED BY VAN HARTEN, NOVEMBER 22, 2021.
3. OVERALL SITE LAYOUT/CONFIGURATION PROVIDED BY ICE RIVER SUSTAINABLE SOLUTIONS, RECEIVED JANUARY 21, 2022.
4. ALL DIMENSIONS, ELEVATIONS, AND INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION COMMENCING.
5. ALL CONSTRUCTION AND MATERIALS TO CONFORM TO TOWNSHIP, COUNTY AND PROVINCIAL STANDARDS.
6. MINIMUM 150mm OF IMPORTED TOPSOIL AND SOD SHALL BE PLACED WHERE HARD SURFACE IS NOT PROPOSED, SLOPES NOT TO EXCEED 3:1.
7. ALL PARKING LOT, TRUCK LOADING AND TRUCK YARD AREAS PAVEMENT DESIGN TO BE 600mm OF GRANULAR "A", 150mm OF GRANULAR "B", 75mm H-4 OR H-8, AND 50mm OF H-3, AS RECOMMENDED BY CMT GEOTECHNICAL INVESTIGATION "PHASE 1 CONSTRUCTION OF NEW FACILITY FOR ICE RIVER SUSTAINABLE SOLUTIONS ECO PARKWAY DUNDALK ONTARIO" CMT PROJECT 21-061.R01 DATED ON FEBRUARY 14, 2022.
8. ALL BUILDING DOWNSPOUTS/ROOF LEADERS ARE TO BE ROUTED OVERLAND TO THE STORMWATER MANAGEMENT POND.
9. ALL SERVING SHALL BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH THE MUNICIPALITY, ONTARIO BUILDING CODE, AND APPROPRIATE PROVINCIAL STANDARDS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONSTRUCTION SEQUENCING PLAN TO THE TOWNSHIP OF SOUTHGATE PRIOR TO CONSTRUCTION.
11. GAS, COMMUNICATIONS AND HYDRO SERVICES ARE TO BE CONFIRMED AT TIME OF CONSTRUCTION.
12. TOWNSHIP IS TO BE NOTIFIED IN ADVANCE OF ANY WORK BEING CONDUCTED WITHIN THE ROAD ALLOWANCE.
13. SEE LP-01 FOR LANDSCAPING DETAILS.
14. SEE SWM-01 FOR STORMWATER MANAGEMENT FACILITY DETAILS.

EROSION & SEDIMENT CONTROL NOTES:

1. PRIOR TO SITE CONSTRUCTION THE CONTRACTOR SHALL ENSURE THAT EROSION CONTROL MEASURES HAVE BEEN CONSTRUCTED AND INSTALLED TO THE SATISFACTION OF THE TOWNSHIP.
2. DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL ADJACENT ROADS ARE KEPT CLEAR OF ALL MUD FROM VEHICULAR TRACKING ETC. TO AND FROM THE CONSTRUCTION SITE.
3. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM MANHOLES, CATCH BASINS, DITCHES, SWALES AND WATERCOURSES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES.
4. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.

LEGEND:

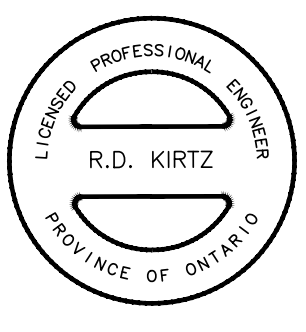
- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- REGULATED WATERCOURSE (GRCA)
- ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)
- PROPOSED BUILDING
- ESTIMATED FLOODPLAIN (GRCA)
- REGULATION LIMIT (GRCA)
- SNOW STORAGE
- NEW BUILDING
- WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- PROPOSED SWALE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAIN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRES



Typical Loading Dock Section
N.T.S.

DISCLAIMERS:
1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.

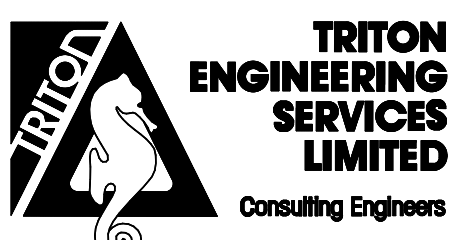


CONSTRUCTION OF PROPOSED
INDUSTRIAL FACILITY
ECO PARKWAY, DUNDALK ON, NOC 1B0
(TOWNSHIP OF SOUTHGATE)

ICE RIVER SUSTAINABLE SOLUTIONS
485387 30 SIDEROAD,
SHELBOURNE ONTARIO, L9V 3N7

SITE GRADING PLAN
(PHASE 1)

PROJECT No	A4181A
DESIGNED BY:	M.R.K.
CHECKED BY:	P.F.Z.
APPROVED BY:	R.D.K.
DATE:	FEBRUARY 2022

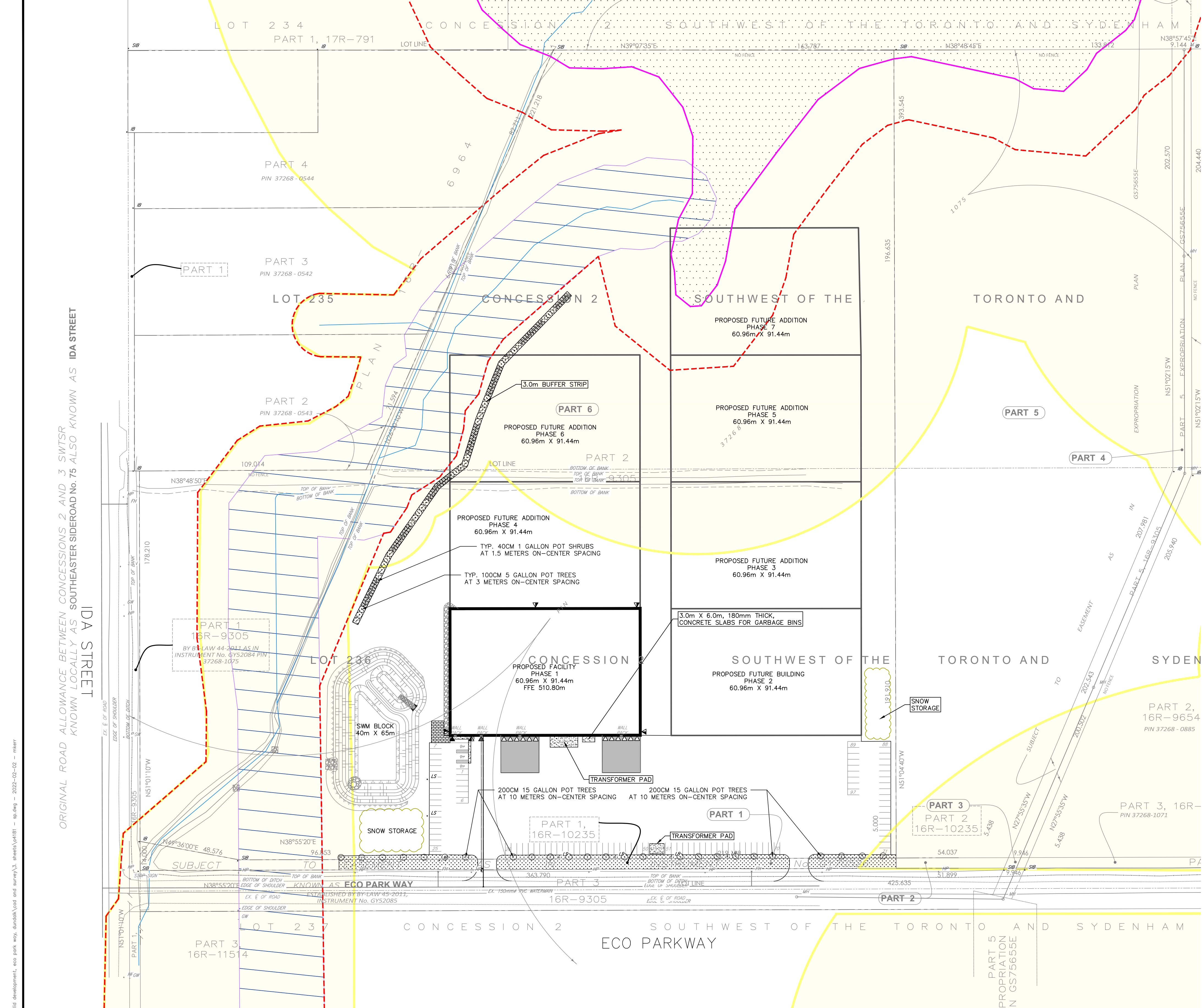


SCALE:
H:1:1000 H:1:2000
V:1:50 V:1:100
(08/24/21) (12/1/17)
UNLESS OTHERWISE SHOWN

DRAWING
NUMBER
SG-01

c:\projects\181818 - map of 181818 - general development, eco park way, dundalk on and survey\3. sheets\set181 - an.dwg - 2022-02-02 - m.kirz

ARCH full bleed D (36.00 x 24.00 inches)



ARCH full bleed D (36.00 x 24.00 inches)

DISCLAIMERS:
1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.



CONSTRUCTION OF PROPOSED
INDUSTRIAL FACILITY
ECO PARKWAY, DUNDALK ON, NOC 1B0
(TOWNSHIP OF SOUTHWEST)

ICE RIVER SUSTAINABLE SOLUTIONS
485387 30 SIDEROAD,
SHELBURNE ONTARIO, L9V 3N5

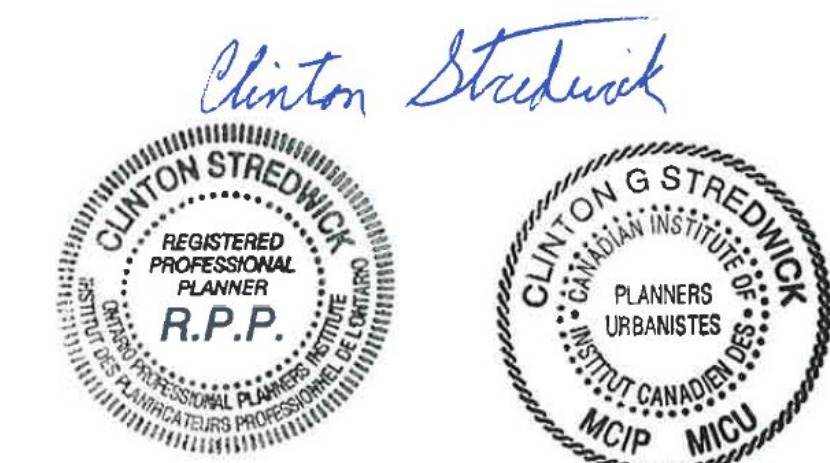
LANDSCAPE PLAN
(PHASE 1)

PROJECT No
A4181A
DESIGNED BY: M.R.K.
CHECKED BY: P.F.Z.
APPROVED BY: R.D.K.
DATE: FEBRUARY 2022



SCALE:
H:1:1000 H:1:2000
V:1:50 V:1:100
(8'x4") (17'x11")
UNLESS OTHERWISE SHOWN

DRAWING
NUMBER **LP-01**



Drawing #6 Dated March 2, 2022

GENERAL NOTES

- TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY WILSON FORD, 2017.
- LEGAL SURVEY INFORMATION PROVIDED BY VAN HARTEN, NOVEMBER 22, 2021.
- OVERALL SITE LAYOUT/CONFIGURATION PROVIDED BY ICE RIVER SUSTAINABLE SOLUTIONS, RECEIVED JANUARY 21, 2022.
- ALL DIMENSIONS, ELEVATIONS, AND INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION COMMENCING.
- ALL CONSTRUCTION AND MATERIALS TO CONFORM TO TOWNSHIP, COUNTY AND PROVINCIAL STANDARDS.
- MINIMUM 150mm OF IMPORTED TOPSOIL AND SOD SHALL BE PLACED WHERE HARD SURFACE IS NOT PROPOSED, SLOPES NOT TO EXCEED 3:1.
- GAS, COMMUNICATIONS AND HYDRO SERVICES ARE TO BE CONFIRMED AT TIME OF CONSTRUCTION.
- TOWNSHIP IS TO BE NOTIFIED IN ADVANCE OF ANY WORK BEING CONDUCTED WITHIN THE ROAD ALLOWANCE.
- LANDSCAPING PLAN DETAILS PROVIDED BY ABOUD & ASSOCIATES, FEBRUARY 15, 2022.

LEGEND:

- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- REGULATED WATERCOURSE (GRCA)
- ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)
- PROPOSED BUILDING
- ESTIMATED FLOODPLAIN (GRCA)
- REGULATION LIMIT (GRCA)
- SNOW STORAGE
- NEW BUILDING
- WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRES

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES						
AS	5	ACER SACCHARINUM	SILVER MAPLE	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
AU	5	ACER SACCHARUM	SUGAR MAPLE	2000M HEIGHT	15 GALLON POT	10M ON-CENTER SPACING
AL	5	ALNUS RUGOSA	SPECKLED ALDER	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
AR	5	ACER RUBRUM	RED MAPLE	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
CO	5	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2000M HEIGHT	15 GALLON POT	10M ON-CENTER SPACING
PG	5	PICEA GLAUCA	WHITE SPRUCE	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
PT	5	POPULUS TREMULOIDES	TREMBLING ASPEN	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
QM	5	QUERCUS MACROCARPA	BUR OAK	2000M HEIGHT	15 GALLON POT	10M ON-CENTER SPACING
QR	5	QUERCUS RUBRA	RED OAK	2000M HEIGHT	15 GALLON POT	10M ON-CENTER SPACING
TA	5	TILIA AMERICANA	BASSWOOD	2000M HEIGHT	15 GALLON POT	10M ON-CENTER SPACING
TD	6	THUJA OCCIDENTALIS	EASTERN WHITE CEDAR	1000M HEIGHT	5 GALLON POT	3.0M ON-CENTER SPACING
	56	TOTAL TREES				
SHRUBS						
AM	20	ARONIA MELANOCARPA	BLACK CHOKEBERRY	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
CR	20	CORNUS RACEMOSA	GREY DOGWOOD	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
CS	20	CORNUS STOLONIFERA	RED-OSIER DOGWOOD	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
RT	32	RHUS TYPHINA	STAGHORN SUMAC	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
PO	20	SAMBUCUS CANADENSIS	COMMON ELDERBERRY	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
VL	20	VIBURNUM LENTAGO	NANNYBERRY	400M HEIGHT	1 GALLON POT	1.5M ON-CENTER SPACING
	132	TOTAL SHRUBS				



Certificate of Design and Manufacturing Conformance

This Certificate is to affirm that all components of the steel building system described below, to be supplied by the named Manufacturer certified in accordance with CSA A660, have been or will be designed and fabricated in accordance with the following Standards to carry the loads and load combinations specified.

1. DESCRIPTION

Manufacturer's Name and Address: **Steelway Building Systems, Springwater Rd., Aylmer, ON, Canada**

Manufacturer's Certificate No. under CSA A660: **STEEL0**

Customer Order Number: **76198**

Building Type and Size: **Allsteel [300'-0"Wx200'-0"Lx32'-0"/32'-0"H]** (ft)

Intended Use and Occupancy: **Industrial**

Importance Category (OBC, Sentence 4.1.2.1.(3)): **II - Normal**

Site Location: **Dundalk, Ontario, Canada**

Applicable Building Code: **OBC 2012-88/19**

Builder's Name and Address: **Global Steel Buildings Canada, 95 Mural Street, 6th Floor, Richmond Hill, Ontario**

Owner's Name and Address: **Green Lid Dundalk, Dundalk, Ontario**

2. DESIGN STANDARDS

Ontario Building Code, 2012-88/19, Part 4: Structural Design

CAN/CSA-S16-14, Limit States Design of Steel Structures

CAN/CSA-S136-16, North American Specification for the Design of Cold-Formed Steel Structural Members

Other (specify):

3. MANUFACTURING STANDARDS

(a) Fabrication has been or will be in accordance with CAN/CSA-S16 and CAN/CSA-S136, as applicable.

(b) Welding has been or will be performed in accordance with CSA W59 and CAN/CSA-S136, as applicable.

(c) The Manufacturer has been certified in accordance with CSA W47.1, for Division 1 or Division 2, and/or CSA W55.3, if applicable.

(d) Welders have been qualified in accordance with CSA-W47.1.

4. PURLIN STABILITY

Purlin braces are provided in accordance with CAN/CSA-S136, Clause D3 and Appendix B, Clause D3.2.2. In particular, for a standing seam roof supported on movable clips, braces providing lateral support to both top and bottom purlin flange have been or will be provided. The number of rows is determined by analysis but in no case is less than 1 for spans up to 7m inclusive or less than 2 for spans greater than 7m.

5. LOADS

(a) Snow, Ice, and Rain Load

1-in-50 year ground snow load, S_s, **3.2** (kPa)

1-in-50 year associated rain load, S_r, **0.4** (kPa)

Wind exposure factor, C_w, **1.00**

Importance factor, I_s, **1.00**

Roof snow load, S, **3.19** (kPa)

Drift load considered (*OBC* Sub-section 4.1.6.2.8) refer to drawing of specific building

Specified rain load (*OBC*, Article 4.1.6.4) **108** (mm).

(b) Full and Partial Snow Load

(i) Applied on any one and any two adjacent spans of continuous purlins

(ii) Applied on any one and any two adjacent spans of modular rigid frames with continuous roof beams

(iii) Applied as described for the building geometry in *OBC*, Part 4, and in the User's Guide - NBC 2015 Structural Commentaries (Part 4), *Commentary G: Snow Loads*

(c) Wind Load

1-in-50 year reference velocity pressure **0.42** (kPa)

Importance factor, I_w, **1.00**

Wind Topographic factor, C_t, **1.0**

Engineer's Initials *

CL

CL

CL

CL

CL

CL

CL

(d) Wind Load Application

(i) Applied as per *OBC*, Part 4, Section 4.1.7

(ii) Pressure coefficients as per User's Guide – *NBC* 2015 Structural Commentaries (Part 4 of Division B), *Commentary I: Wind Loads*, Figures 4.1.7.6 A-H, A-4.1.7.5

(iii) Building internal pressure Category **3** per User's Guide – *NBC* 2015 Structural Commentaries (Part 4 of Division B), *Commentary I: Wind Loads*

(e) Crane Loads (where applicable)

Type: (top running)(under-running)(jib)

Capacity: (tonnes)

Wheel base: (m)

Maximum static, vertical wheel load: (kN)

Vertical impact factor: %

Lateral factor: %

Lateral wheel load: (kN)

Longitudinal factor: %

Maximum longitudinal load: (kN/side)

(f) Mezzanine Live Load: (kPa)

(g) Seismic Load:

(Applied as per *OBC*, Part 4, Sub-section 4.1.8 S_a(0.2) **0.097**, S_a(0.5) **0.069**, S_a(1.0) **0.043**, S_a(2.0) **0.022**, S_a(5.0) **0.0056**, S_a(10.0) **0.0024**, F_a **1.24**, F_v **1.55**, I_E **1.00**

(h) Other Live Loads

(Specify):(kPa)

(i) Dead Loads

Dead load of building components is incorporated in the design

Collateral load (mechanical, electrical, ceiling, sprinklers, etc.): **0.24** (kPa)

Mezzanine: (kPa)

Other (specify): ()

(j) Load Combinations

Applied in accordance with *OBC*, Part 4, Section 4.1.

6. GENERAL REVIEW DURING CONSTRUCTION

The Manufacturer does not provide general review during construction for regulatory purposes.

7. CERTIFICATION BY ENGINEER

I **Chung Lee**, a Professional Engineer registered or licensed to practice in the Province or Territory of **Ontario**, hereby certify that I have reviewed the design and manufacturing process for the steel building system described. I certify that the foregoing statements, initialed by me, are true.

Name: **Chung Lee, P.Eng**

Title: **Scheduling & Quality Standards Leader**

Affiliation: **Steelway Building Systems**

Date: **Feb 09, 2022**

CLINTON G STREDWICK

REGISTERED PROFESSIONAL PLANNER

R.P.P.

PROFESSIONAL PLANNING INSTITUTE OF CANADA

CLINTON G STREDWICK

PLANNERS URBANISTES

INSTITUT CANADIEN D'URBANISME

MCIP MCPU

LICENSED PROFESSIONAL ENGINEER

C.B. LEE

90561507

2022 Feb 10

PROVINCE OF ONTARIO

* Initial each true statement. Mark N/A if statement does not apply.

76198 - Design Conformance Certificate (002).docx

Revised: January 23, 2020

Page 1 of 1

Drawing #7 Dated March 2, 2022

STEELWAY'S ENGINEER IS NOT A DESIGN PROFESSIONAL OR ENGINEER OF RECORD FOR THE CONSTRUCTION PROJECT. STEELWAY IS NOT RESPONSIBLE FOR THE DESIGN OF ANY COMPONENT OR MATERIALS NOT SOLD BY IT, OR THEIR INTERFACE AND CONNECTION WITH THE STEEL BUILDING SYSTEM, UNLESS SUCH DESIGN RESPONSIBILITY IS SPECIFICALLY REQUIRED BY THE CONTRACT DOCUMENTS. STEELWAY IS ONLY RESPONSIBLE FOR ENSURING THAT THE COMPONENTS SUPPLIED BY IT ARE DESIGNED IN ACCORDANCE WITH THE APPLICABLE BUILDING CODES AND OTHER CRITERIA, ALL AS SPECIFIED BY THE OWNER, THE PROFESSIONAL ENGINEER AND/OR ARCHITECT OF RECORD RETAINED BY THE OWNER, OR THE DESIGN-BUILDER, THE DESIGNER (OF THE STRUCTURE) WHETHER DESIGN-BUILDER, ARCHITECT AND/OR PROFESSIONAL ENGINEER OF RECORD, IS RESPONSIBLE FOR SPECIFYING TO STEELWAY THE CODES AND STANDARDS TO GOVERN DESIGN, ALL DESIGN LOADS SUCH AS SNOW LOADS (INCLUDING COEFFICIENTS AND DRIFT CONDITIONS), WIND LOADS, COLLATERAL LOADS, SITE CONDITIONS FOR SEISMIC DESIGN, AND ANY OTHER SUPERIMPOSED LOADS WHICH THE STRUCTURE IS REQUIRED TO SUSTAIN. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS HE/SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE PLANS IN ANY WAY. IF ANY ITEM ON THESE PLANS IS ALTERED, THE ALTERING ENGINEER MUST AFFIX TO THE ITEM HIS/HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION. STEELWAY ASSUMES THAT ALL WINDOWS AND DOORS WILL BE DESIGNED TO WITHSTAND THE WIND LOADS SHOWN AND WILL REMAIN CLOSED DURING PERIODS OF SEVERE WINDS (THIS DOES NOT APPLY TO BUILDINGS DESIGNED AS CATEGORY 3).

FOR FURTHER CLARIFICATION OF DESIGN RESPONSIBILITY, REFER TO CSSBI B8-06 – BUILDINGS INCORPORATING STEEL BUILDING SYSTEMS: RESPONSIBILITIES OF THE PARTIES INVOLVED.

STEELWYI IS NOT RESPONSIBLE FOR THE DESIGN, MATERIALS, AND WORKMANSHIP OF THE FOUNDATION. ANCHOR BOLT PLANS PREPARED BY STEELWYI ARE INTENDED TO SHOW ONLY LOCATION, DIAMETER, AND PROJECTION OF ANCHOR RODS REQUIRED TO ATTACH THE STEEL BUILDING SYSTEM TO THE FOUNDATION. IT IS THE RESPONSIBILITY OF THE END CUSTOMER AND/OR THEIR DESIGN PROFESSIONAL TO ENSURE THAT ADEQUATE PROVISIONS ARE MADE FOR SPECIFYING BOLT EMBEDMENT, BEARING ANGLES, THE RODS, AND/OR OTHER ASSOCIATED ITEMS EMBEDDED IN THE CONCRETE. THE DESIGN OF THE FOUNDATION DESIGN FOR THE LOADS IMPOSED BY THE STEEL BUILDING SYSTEM, OTHER IMPOSED LOADS, AND THE BEARING CAPACITY OF THE SOIL AND OTHER CONDITIONS OF THE BUILDING, STEELWYI DOES NOT SPECIFY GROUT REQUIREMENTS - THIS IS THE RESPONSIBILITY OF THE FOUNDATION DESIGNER. THE CHART PROVIDED WITH THE ANCHOR PLANS/DETAILS IS INTENDED TO DEMONSTRATE THAT GROUT SHALL BE TAKEN INTO ACCOUNT WHEN DETERMINING ANCHOR BOLT PROJECTION, IT DOES NOT CONSTITUTE THE SPECIFICATION OF GROUT BY THE STEELWYI ENGINEER.

UNLESS OTHERWISE SPECIFIED THE CONTRACT DOCUMENTS, STEELWAY USES INDUSTRY STANDARD DEFLECTION LIMITS AS SPECIFIED IN CSSBI B15B-15. IN GENERAL, WE DO NOT USE THE RECOMMENDED LIMITS SPECIFIED IN ANNEX D OF CSA S16, WHICH IS A NON-MANDATORY PART OF THIS STANDARD.

STEELWAY DOES NOT PERFORM GENERAL REVIEW OF CONSTRUCTION (SITE INSPECTIONS) FOR COMPONENTS SUPPLIED BY IT. THIS RESPONSIBILITY IS EXPLICITLY EXCLUDED FROM STEELWAY'S SCOPE OF WORK, UNLESS SPECIFIED IN THE CONTRACT DOCUMENTS FOR AN AGREED FEE.

STEELWAY DOES NOT INVESTIGATE THE INFLUENCE OF THE STEEL BUILDING SYSTEM ON EXISTING BUILDINGS OR STRUCTURES. THE END CUSTOMER AND/OR THEIR DESIGN PROFESSIONAL MUST ENSURE THAT SUCH BUILDINGS AND STRUCTURES ARE ADEQUATE TO RESIST ADDITIONAL SNOW AND DRIFT LOADS OR OTHER CONDITIONS AS A RESULT OF THE PRESENCE OF THE STEEL BUILDING SYSTEM.

MEZZANINES, BLOCK WALLS, OR ANY OTHER COMPONENTS BY OTHERS THAT ARE IDENTIFIED AS INDEPENDENT OR SELF-SUPPORTING, MUST BE DESIGNED BY A PROFESSIONAL ENGINEER. THE ENGINEER MUST ENSURE THAT PROPER ISOLATION FROM THE STEELWAY BUILDING HAS BEEN PROVIDED TO AVOID STRUCTURAL DAMAGE DUE TO DIFFERENTIAL MOVEMENTS, OR INADVERTENTLY APPLYING LOADS TO THE STEELWAY STRUCTURE. STEELWAY ACCEPTS NO RESPONSIBILITY FOR THE DESIGN OF ANY INDEPENDENT/SELF-SUPPORTING COMPONENTS.

IT IS THE RESPONSIBILITY OF THE PROJECT DESIGN PROFESSIONAL AND BUILDER TO COMPLY WITH LOCAL FIRE CODE REGULATIONS INCLUDING CONSIDERATION OF, BUT NOT LIMITED TO, BUILDING USE AND OCCUPANCY, ALL BUILDING CONSTRUCTION MATERIALS, SEPARATION REQUIREMENTS, EGRESS REQUIREMENTS, FIRE PROTECTION SYSTEMS, ETC. THE BUILDER SHALL ADVISE STEELWAY OF ANY SPECIAL REQUIREMENTS TO BE FURNISHED BY STEELWAY.

STEELWAY RECOMMENDS THAT SNOW GUARDS BE USED FOR THE FULL BUILDING LENGTH ON ROOF SLOPES GREATER THAN OR EQUAL TO 3:12, ESPECIALLY ON ROOFS WITH GUTTERS. STEELWAY IS NOT RESPONSIBLE FOR DAMAGE TO GUTTERS AND ADJACENT PROPERTY OR INJURY CAUSED BY ICE/SNOW SLIDING OFF SLOPED METAL ROOFS. DESIGN AND SUPPLY OF SNOW GUARDS IS NOT BY STEELWAY.

STEELWAY DESIGNS ITS ROOF SYSTEMS TO MEET THE LOAD REQUIREMENTS DICTATED BY GOVERNING BUILDING CODES, INCLUDING APPLICABLE SNOW ACCUMULATION LOADING. HOWEVER, STEELWAY EXPRESSLY DISCLAIMS RESPONSIBILITY FOR WEATHER TIGHTNESS OR ROOF POINT LOADING ISSUES DUE TO ICE DAMS, WHICH MAY OCCUR DURING MELTING CONDITIONS. ICE DAMN FORMATION IS AFFECTED BY LOCAL CLIMATE, ROOF INSULATION PERFORMANCE, PURLIN SPACING, ROOF PANEL COLOUR, INTERIOR TEMPERATURE, EAVE OVERHANGS, PARAPET WALLS, AND SHADING OF ROOF AREAS. THESE FACTORS ARE RELATED TO THE OVERALL DESIGN CONCEPTS OF THE BUILDING AS SPECIFIED BY THE PROJECT ENGINEER OR ARCHITECT, AND/OR MAINTENANCE ISSUES WHICH ARE OUTSIDE STEELWAY'S CONTROL. IT IS ALSO RECOMMENDED TO INSTALL HEAT TRACE CABLES ON ROOF AREAS PRONE TO ICE DAMMING.

STEELWAY ISSUES PRELIMINARY DRAWINGS MARKED "ISSUED FOR INFORMATION" FOR EACH PROJECT. INFORMATION PRESENTED ON PRELIMINARY DRAWINGS MAY DIFFER FROM DRAWINGS/DOCUMENTS PROVIDED BY OTHER FIRMS, AND ALSO FROM PREVIOUS STEELWAY DRAWINGS/DOCUMENTS. THE DEVIATIONS MAY BE DUE TO INTERPRETATIONS OF THE CONTRACT REQUIREMENTS, OR NECESSARY PROVISIONS FOR STRUCTURAL PERFORMANCE AND MANUFACTURING ABILITY. THE MOST RECENT SET OF DRAWINGS THAT IS SEALED BY A STEELWAY ENGINEER SHALL TAKE PRECEDENCE OVER ANY PREVIOUS DRAWINGS/DOCUMENTS. THE CUSTOMER SHALL PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN ON EACH DRAWING SET RECEIVED, IN ORDER TO CONFIRM ADHERENCE TO THE CONTRACT REQUIREMENTS. APPROVAL IS REQUIRED IN ORDER TO PROCEED WITH MANUFACTURING. WHEN THE APPROVAL STAMP IS PRESENT, PLEASE SIGN AND DATE EACH DRAWING, AND CLEARLY INDICATE ANY CHANGES REQUIRED. FAILURE TO DO SO IN A TIMELY MANNER MAY RESULT IN PROJECT DELAYS. NOTE THAT CHANGES REQUESTED ON THE DRAWINGS ARE NOT BINDING UNLESS SUBSEQUENTLY ACKNOWLEDGED AND AGREED TO IN WRITING. APPROVAL OF STEELWAY DRAWINGS CONSTITUTES ACCEPTANCE OF OUR INTERPRETATION, AND FURTHER CONSTITUTES AGREEMENT THAT THE BUILDING AS SHOWN REPRESENTS THE TOTAL OF THE MATERIALS TO BE SUPPLIED. ANY CHANGE REQUESTS THAT OCCUR AFTER APPROVAL MAY RESULT IN ADDITIONAL COSTS AND DELAYS. BUILDER/CUSTOMER MUST SECURE ALL REQUIRED APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCIES AS REQUIRED.

STEELWAY IS NOT RESPONSIBLE FOR THE ERECTION OF THE STEEL BUILDING SYSTEM, THE SUPPLY OF ANY TOOLS OR EQUIPMENT, SUPERVISION FOR THE ERECTION OF THE STRUCTURE, OR ANY OTHER FIELD WORK. FIELD ERECTION OF A STEEL BUILDING, AS IN ALL CONSTRUCTION PROJECTS, INVOLVES HAZARDS TO PERSONS WITHIN THE AREA OF THE CONSTRUCTION AND RISK OF DAMAGE TO THE PROPERTY ITSELF. STEELWAY DOES FURNISH A GENERAL ERECTION MANUAL, HOWEVER FIELD ERECTION PROCEDURES CAN VARY BECAUSE OF MANY ITEMS INCLUDING LOCAL CONDITIONS, EQUIPMENT AVAILABILITY, THE TYPE OF BUILDING BEING ERECTED, AND THE EXPERTISE OF THE PARTICULAR ERECTOR. THE ERECTOR, BY ENTERING INTO A CONTRACT TO ERECT THE BUILDING, HOLDS ITSELF OUT AS SKILLED IN THE ERECTION OF STEEL BUILDING SYSTEMS, AND IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, PROVINCIAL, AND FEDERAL CONSTRUCTION AND SAFETY REGULATIONS AS WELL AS ANY APPLICABLE REQUIREMENTS OF MUNICIPAL, PROVINCIAL, FEDERAL, OR INTERNATIONAL UNION RULES OR PRACTICES. THE ERECTION DRAWINGS FURNISHED BY STEELWAY ARE NOT INTENDED TO SPECIFY ANY PARTICULAR METHOD OF ERECTION TO BE FOLLOWED BY THE ERECTOR. THE ERECTOR REMAINS SOLELY RESPONSIBLE FOR THE SAFETY AND APPROPRIATENESS OF ALL TECHNIQUES AND ALL METHODS UTILIZED BY ITS CREWS IN THE ERECTION OF THE STEEL BUILDING SYSTEM. THE ERECTOR IS ALSO RESPONSIBLE FOR SUPPLYING ANY SAFETY DEVICES SUCH AS FALL ARREST SYSTEMS, MAN-LIFTS, AND ANCHOR POINTS ETC., WHICH MAY BE REQUIRED TO SAFELY ERECT THE STEEL BUILDING SYSTEM. STEELWAY EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR INJURY TO PERSONS IN THE COURSE OF ERECTION OR DAMAGE TO THE PRODUCT ITSELF. ONLY EXPERIENCED PERSONS WHO ARE SKILLED AND QUALIFIED IN THE ERECTION OF STEEL BUILDINGS SHOULD BE PERMITTED TO FIELD-ERECT A BUILDING DUE TO THE HAZARDS OF THIS CONSTRUCTION ACTIVITY. ALL ERECTION EQUIPMENT AND DETAILED ERECTING PROCEDURES WILL BE DETERMINED BY AN INDEPENDENT QUALIFIED PROFESSIONAL ENGINEER RETAINED BY THE BUILDER AS REQUIRED.

ERECTION TOLERANCES ARE THOSE SET FORTH IN THE "DESIGN OF STEEL STRUCTURES"
(CSA S16 LATEST EDITION).

THE ERECTOR SHALL FURNISH TEMPORARY GUYS AND BRACING WHERE NEEDED FOR SQUARING, PLUMBING, AND SECURING THE STRUCTURAL FRAMING AGAINST LOADS, SUCH AS WIND LOADS ACTING ON THE EXPOSED FRAMING, AS WELL AS LOADS DUE TO ERECTION EQUIPMENT AND OPERATION. THESE CONSTRUCTION LOADS CAN BE SIGNIFICANTLY HIGHER THAN LOADS WHICH WILL BE APPLIED ONCE THE BUILDING IS COMPLETELY ERECTED, AND ACCORDINGLY, BRACING FURNISHED BY STEELWAY FOR THE STEEL BUILDING SYSTEM CANNOT BE ASSUMED TO BE ADEQUATE DURING ERECTION. COLUMN BASEPLATES ARE TYPICALLY "PIN" CONNECTIONS, AND IT IS THEREFORE EXTREMELY DANGEROUS TO LEAVE ANY COLUMN AS "FREE STANDING" (NO LATERAL SUPPORT AT THE TOP) FOR ANY LENGTH OF TIME. SPECIAL CARE MUST BE TAKEN WHEN COLUMNS ARE GROUTED, AS THEY TEND TO BE UNSTABLE UNTIL THE GROUT IS IN PLACE. TEMPORARY SUPPORTS SUCH AS TEMPORARY GUYS, BRACING, FALSEWORK, CRIBBLING OR OTHER ELEMENTS REQUIRED FOR THE ERECTION OPERATION SHALL BE DETERMINED AND FURNISHED AND INSTALLED BY THE ERECTOR.

UNLESS OTHERWISE SPECIFIED, ALL HIGH STRENGTH (A325, A490) BOLTS MUST BE TIGHTENED BY THE "TURN-OF-NUT" METHOD AS SPECIFIED IN THE "INSTALLATION AND INSPECTION OF BOLTED JOINTS" CLAUSE OF CSA S16. TORQUE/TENSION RELATIONSHIPS ARE HIGHLY VARIABLE, AND TORQUE-BASED INSTALLATION IS NOT PERMITTED IN S16. IN JOINTS WHERE PRE-TENSIONING WOULD BE DETRIMENTAL, SUCH AS THOSE INTENDED TO BEHAVE AS SLOTTED CONNECTIONS, BOLTS MUST BE INSTALLED "FINGER-TIGHT, BURR THREADS." ERECTOR MUST CAREFULLY REVIEW THE ERECTION DETAILS TO DETERMINE IF TIGHTENING REQUIREMENTS FOR EACH CONNECTION ERECTOR IS RESPONSIBLE FOR BOLT INSPECTION, INCLUDING ENSURING THAT INSTALLATION AND INSPECTION PROCEDURES ARE COMPATIBLE PRIOR TO THE START OF ERECTION. THE LENGTH OF BOLTS SHALL BE SUCH THAT THE POINT OF THE BOLT WILL BE FLUSH WITH OR OUTSIDE THE FACE OF THE NUT WHEN COMPLETELY INSTALLED.

ALL FIELD WELDING SHALL BE DONE AT THE DIRECTION OF A DESIGN PROFESSIONAL, AND DONE IN ACCORDANCE WITH CWB REQUIREMENTS BY WELDERS QUALIFIED TO PERFORM THE APPLICABLE WELDING PROCEDURE. USE MINIMUM 70ksi ELECTRODES. FIELD INSPECTION IS NOT BY STEELWAY. WELDING PROCEDURES FOR WELDING OVER COATINGS SHALL BE DEVELOPED AND QUALIFIED IN ACCORDANCE WITH CSA W47.

THE BUILDER/CUSTOMER IS RESPONSIBLE FOR CONTACTING STEELWAY'S PROJECT MANAGEMENT TEAM TO ADVISE STEELWAY OF FABRICATION/DRAWING PROBLEMS AND CORRESPONDING FIELD CORRECTION COST ESTIMATES. STEELWAY WILL THEN BE RESPONSIBLE FOR PROVIDING THE BUILDER WITH WRITTEN APPROVAL TO PROCEED WITH APPROPRIATE FIELD CORRECTIONS. THIS WILL BE DONE IN A TIMELY MANNER. NOTE: IF THE BUILDER PROCEEDS WITH CORRECTIVE WORK WITHOUT STEELWAY'S APPROVAL, THEY ARE DOING SO AT THEIR OWN RISK AND COST. STEELWAY WILL ONLY BE RESPONSIBLE FOR CLAIMS WHERE THE BUILDER/CUSTOMER DOCUMENTS THE PROBLEM, ITS CORRECTION, AND REASONABLE COSTS FOR REPAIR AND SUBMITS SAME FOR PAYMENT WITHIN 15 DAYS OF THE OCCURRENCE.

IN THE CASE OF DISCREPANCIES BETWEEN STEELWAY'S DRAWINGS AND DETAILS VERSUS THE PLANS FOR OTHER TRADES, THE STEELWAY STEEL PLANS GOVERN (CISC CODE OF STANDARD PRACTICE). CUSTOMER APPROVAL OF STEELWAY DRAWINGS CONSTITUTES ACCEPTANCE OF STEELWAY'S INTERPRETATION OF THE PROJECT. THEREAFTER, ANY REVISIONS SHOULD BE COMMUNICATED BY MARKING UP STEELWAY'S DRAWINGS WITH THE APPROPRIATE CHANGES AND SENDING TO OUR PROJECT MANAGEMENT TEAM.

THE CORRECTION OF MINOR MISALIGNMENTS BY THE USE OF DRIFTPINS TO DRAW THE COMPONENTS INTO LINE, SHIMMING, MODERATE AMOUNTS OF REAMING, CHIPPING, WELDING, OR CUTTING AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. (CISC CODE OF STANDARD PRACTICE)

PLEASE REFER TO THE STEELWAY STANDARD TERMS AND CONDITIONS IN THE CONTRACT DOCUMENTS.

DESIGNATION EXAMPLES: 08Z16; where 08=section depth, Z=zee section, 16=16GA
10C12; where 10=section depth, C=cee section, 12=12GA

ALL STRUCTURAL MEMBERS OF THE STEEL FRAMING SYSTEM NOT FABRICATED OF CORROSION RESISTANT MATERIAL OR PROTECTED BY A CORROSION RESISTANT COATING ARE PAINTED WITH ONE COAT OF SHOP PRIMER MEETING THE PERFORMANCE REQUIREMENTS OF AISC/CPPMA 2-75 (EXCLUDING CLAUSE 4.1.2). PRIOR TO PAINTING, ALL SURFACES TO RECEIVE SHOP PRIMER ARE CLEANED OF GREASE AND OILS USING SSPC CLEANING METHOD SP1, SP2 OR SP3 AS REQUIRED. THE COATING OF SHOP PRIMER IS INTENDED TO PROTECT THE STEEL FRAMING FOR ONLY A SHORT PERIOD OF EXPOSURE TO ORDINARY ATMOSPHERIC CONDITIONS. IT PROVIDES TEMPORARY PROTECTION AGAINST RUST DURING TRANSPORTATION AND WHILE THE BUILDING IS BEING ERECTED, NOT TO EXCEED 90 DAYS AS PER AISC CODE OF PRACTICE. THE PRIMER IS NOT TO BE USED AS A PROTECTIVE COATING FOR STEEL EXPOSED TO SEVERE WEATHER CONDITIONS. PRIOR TO POSITIONING TO THE STEELWORK, ELIMINATE WATER-HOLDING POCKETS, DUST, MUD, AND OTHER CONTAMINATION OF THE PRIMER FILM. PURLINS AND GIRTS SHOULD BE COVERED AND SLOPED TO ALLOW WATER TO DRAIN OFF. PRIMARY STEEL SHOULD BE COVERED AND SAFELY STACKED IN AN UPRIGHT POSITION. WATER THAT IS ALLOWED TO POND ON FLANGES OR WEBS CAN CAUSE THE PRIMER TO LIFT AND/OR FLAKE OFF THE STEEL OVER TIME. STEELWAY WILL NOT BE HELD RESPONSIBLE FOR PAINT DAMAGED BY PONDING WATER, FOREIGN MATERIAL, OR EXPOSURE TO ATMOSPHERIC/ ENVIRONMENTAL CONDITIONS, AS A RESULT OF IMPROPER FIELD STORAGE. FIELD-APPLIED COATINGS MUST NOT BE COMPATIBLE WITH STEELWAY PRIMER, AND ANY DAMAGE RESULTING FROM SUCH COATINGS IS NOT THE RESPONSIBILITY OF STEELWAY.

MINOR ABRASIONS TO THE PAINTED OR GALVANIZED FINISH, CAUSED BY HANDLING, LOADING, SHIPPING, UNLOADING, AND ERECTION, ARE UNAVOIDABLE, AND ARE NOT SUBJECT TO CLAIM. TOUCHUP OF THESE MINOR ABRASIONS IS THE RESPONSIBILITY OF THE ERECTOR AND/OR THE END CUSTOMER.

PLEASE CONFIRM INFORMATION SHOWN AND PROVIDE INFORMATION WHERE MARKED WITH REFER TO COLOUR ☒
 CHART AT <http://www.steelway.com/content/sell-sheets> EXTRA CHARGES MAY APPLY FOR SELECTIONS
 OTHER THAN STEELWAY STANDARD COLOURS.

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

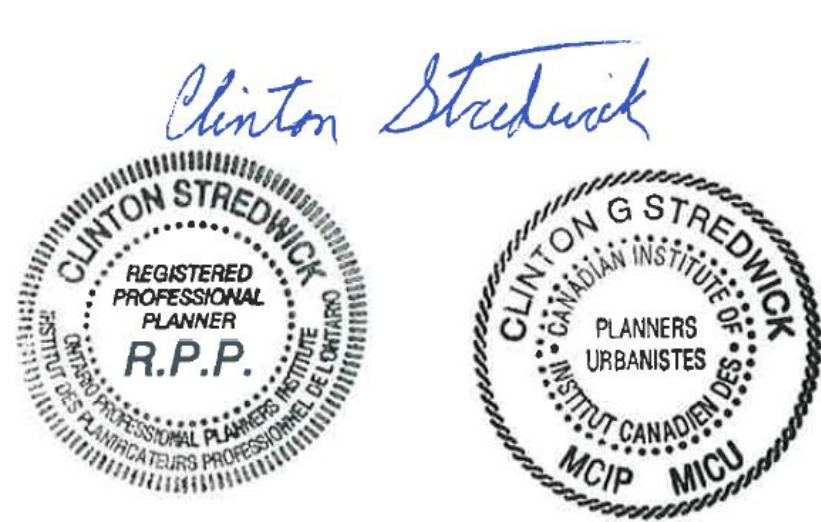
1	02/09/2022	EB	RE-ISSUED FOR INFORMATION
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description

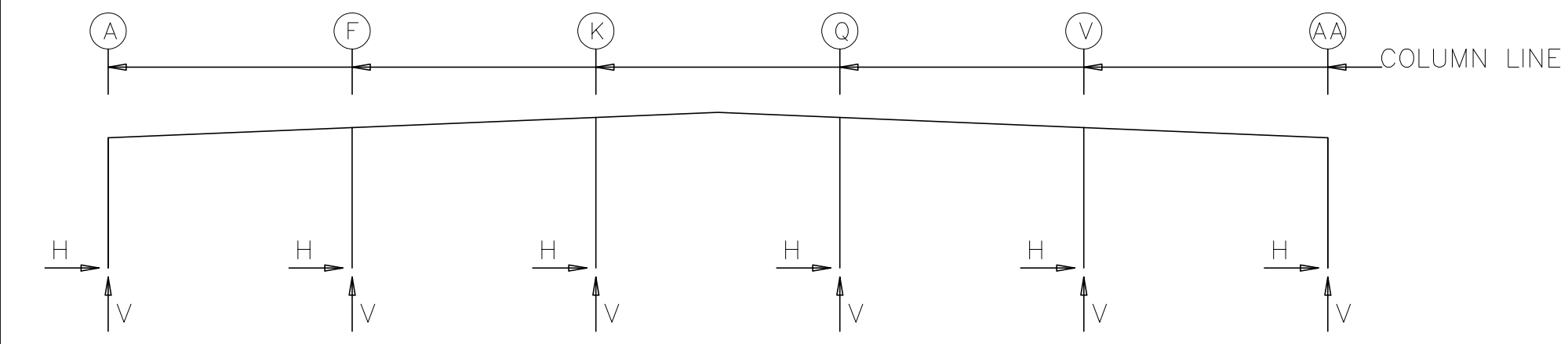
DRAWING NAME
GENERAL INFORMATION SHEET
DRAWING No.
76198-G1

DRAWN BY	KSK	CHECKED BY
SHEET: ANSI D (22"X34")		ENGINEER'S SEAL APPLIES ONLY TO STEELWAY PRODUCT

 **Global**
Steel Buildings Canada

95 Mural Street, 6th Floor
Richmond Hill, Ontario L4B 3G2
905.477.5144





DESIGN PARAMETERS:

1. A.

CLIMATIC DESIGN DATA BASED ON THE FOLLOWING

Design Code

Province

Location*

Snow Load

Rain Load

Wind Pressure

Seismic Data:

= OBC 2012 88-19

= Ontario

= Dundalk

S_s (1/50)

S_r (1/50)

q (1/50)

$S_s(0.2)$

$S_s(0.5)$

$S_s(1.0)$

$S_s(2.0)$

$S_s(5.0)$

$S_s(10.0)$

PGA

= 66.88 psf

= 8.36 psf

= 8.78 psf

= 0.097

= 0.069

= 0.043

= 0.022

= 0.0056

= 0.0024

= 0.0570

*Actual Site Location May Differ.

B.

Building Importance Category

= II - Normal

C.

SEISMIC INFORMATION

le

Importance Seismic

Structural Configuration

Fundamental Lateral Period

Fundamental Lateral Period

Site Class

Acceleration Coefficient

Velocity Coefficient

Seismic Hazard Index

Design Method

SFRS

= 1.00

= Regular

= 0.4691 seconds (Moment Frames)

= 0.2438 seconds (Braced Frames)

= D

= 1.24

= 1.55

= 0.12028

= Equivalent Static Force Method

= Conventional Steel Construction of Moment-Resisting Frames

= Conventional Steel Construction of Braced Frames

= 1.5

= 1.3

= None

Restrictions

Steelway Building Systems confirms that the seismic force resisting system, diaphragms, and all connections within the SFRS have been designed in accordance with the 2012 Ontario Building Code as amended by regulation 88/19, Part 4, Clause 4.1.8 and CSA S16-14, Clause 27.11 for Conventional Construction.

D.

ROOF

Roof Dead Load

Roof Live Load

Importance Snow (ULS)

Importance Snow (SLS)

Exposure Factor

Slope Factor

Basic Roof Snow Load Factor

Shape Factor

Specified Roof Snow Load

= 4.0 psf (Excluding Self-Weight of Rigid Frames)

= 5 psf

= 20.90 psf

I_s

I_s

C_w

C_s

C_d

C_o

S

= 1.00

= 0.9

= 1.00

= 1.00

= 0.8716

= 1.0000

$I_s S_s [C_b C_w C_s C_d + S_r]$

= 66.65 psf

E.

WIND

Importance Wind (ULS)

Importance Wind (SLS)

Topographic Factor

Internal Pressure Category

Exposure

R - Rough Terrain >= 1.0km,

R1 - 0.75km rough

R2 - 0.50km rough

R3 - 0.25km rough

O - Open terrain

I_w

I_w

C_t

= 3

= 0

= 1.00

= 0.75

= 1.0
- RIGID FRAME: BASIC COLUMN REACTIONS (UNFACTORED) (k)
- | Frame Line | Column Line | Dead | | Collateral | | Live | | Snow | | Wind_Left1 | | Wind_Right1 | |
|------------|-------------|-------|------|------------|------|-------|------|-------|-------|------------|-------|-------------|-------|
| | | Horiz | Vert | Horiz | Vert | Horiz | Vert | Horiz | Vert | Horiz | Vert | Horiz | Vert |
| 2* | A | 0.9 | 5.6 | 0.7 | 3.4 | 2.8 | 14.2 | 8.9 | 45.1 | -3.3 | -17.6 | 5.0 | -12.0 |
| 2* | AA | -0.9 | 5.6 | -0.7 | 3.4 | -2.8 | 14.2 | -8.9 | 45.1 | -5.0 | 12.0 | 3.3 | -17.6 |
| 2* | F | 0.0 | 11.7 | 0.0 | 8.0 | 0.0 | 33.5 | 0.0 | 106.8 | 0.0 | -36.3 | 0.0 | -30.4 |
| 2* | K | 0.0 | 11.1 | 0.0 | 7.4 | 0.0 | 30.7 | 0.0 | 98.0 | 0.0 | -34.4 | 0.0 | -26.6 |
| 2* | Q | 0.0 | 11.1 | 0.0 | 7.4 | 0.0 | 30.7 | 0.0 | 98.0 | 0.0 | -26.6 | 0.0 | -34.4 |
| 2* | V | 0.0 | 11.7 | 0.0 | 8.0 | 0.0 | 33.5 | 0.0 | 106.8 | 0.0 | -30.4 | 0.0 | -36.3 |

Frame Line	Column Line	Wind_Left2		Wind_Right2		Wind_Long1		Wind_Long2		Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	-7.9	0.3	0.4	5.8	4.0	-16.5	3.1	-14.0	-5.6	-3.6	5.6	3.6
2*	AA	-0.4	2.3	1.5	1.4	-3.1	14.0	-4.0	16.5	-3.7	3.6	-5.7	-3.6
2*	F	0.0	2.2	0.0	8.1	0.0	-38.0	0.0	-28.1	0.0	4.6	0.0	-4.6
2*	K	0.0	1.0	0.0	8.8	0.0	-33.5	0.0	-27.2	0.0	-1.7	0.0	1.7
2*	Q	0.0	8.8	0.0	1.0	0.0	-27.2	0.0	-33.5	0.0	1.7	0.0	-1.7
2*	V	0.0	8.1	0.0	2.2	0.0	-28.1	0.0	-38.0	0.0	-4.6	0.0	4.6

Frame Line	Column Line	FIPAT_SL_1		FIPAT_SL_2		FIPAT_SL_3		FIPAT_SL_4		FIPAT_SL_5		FIPAT_SL_6	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	3.3	24.9	-1.5	-5.1	0.9	1.8	-1.5	-1.4	3.2	2.3	1.8	19.8
2*	AA	-3.2	2.3	1.5	-1.4	-1.8	19.8	-1.5	-1.4	-3.3	24.9	-1.8	0.9
2*	F	0.0	28.4	0.0	30.9	0.0	-5.8	0.0	-5.8	0.0	-3.0	0.0	59.4
2*	K	0.0	-4.7	0.0	28.3	0.0	29.0	0.0	-5.6	0.0	2.0	0.0	23.6
2*	Q	0.0	2.0	0.0	-5.6	0.0	29.0	0.0	-3.1	0.0	17.4	0.0	-4.7
2*	V	0.0	-3.0	0.0	2.8	0.0	-5.8	0.0	30.9	0.0	28.4	0.0	-0.2

Frame Line	Column Line	FIPAT_SL_7		FIPAT_SL_8		FIPAT_SL_9		F1UNB_SL_L		F1UNB_SL_R	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	A	-0.6	-3.3	-0.6	0.4	1.8	0.9	6.7	43.5	6.7	24.2
2*	AA	0.6	0.4	0.6	-3.3	-1.8	19.8	-6.7	24.2	-6.7	43.5
2*	F	0.0	25.1	0.0	-3.0	0.0	-0.2	0.0	109.3	0.0	50.9
2*	K	0.0	57.3	0.0	23.4	0.0	-3.6	0.0	94.4	0.0	52.6
2*	Q	0.0	23.4	0.0	57.3	0.0	23.6	0.0	52.6	0.0	94.4
2*	V	0.0	-3.0	0.0	25.1	0.0	59.4	0.0	50.9	0.0	109.3

Frame Line	Column Line	Wind_Left2		Wind_Right2		Wind_Long1		Wind_Long2		Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
9	A	0.9	5.6	0.7	3.4	2.8	14.2	8.9	45.1	-6.1	-22.1	6.2	-13.4
9	AA	-0.9	5.6	-0.7	3.4	-2.8	14.2	-8.9	45.1	-6.2	22.1	-6.1	13.4
9	F	0.0	11.7	0.0	8.0	0.0	33.5	0.0	106.8	0.0	-45.6	0.0	-35.1
9	K	0.0	11.1	0.0	7.4	0.0	30.7	0.0	98.0	0.0	-43.3	0.0	-30.6
9	Q	0.0	11.1	0.0	7.4	0.0	30.7	0.0	98.0	0.0	-30.6	0.0	-43.3
9	V	0.0	11.7	0.0	8.0	0.0	33.5	0.0	106.8	0.0	-35.1	0.0	-45.6

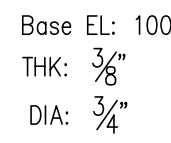
Frame Line	Column Line	Wind_Left2		Wind_Right2		Wind_Long1		Wind_Long2		Seismic_Left		Seismic_Right	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
9	A	-10.7	-4.3	1.6	4.5	3.8	-20.3	2.4	-16.2	-5.6	-3.6	5.6	3.6
9	AA	-1.6	4.5	-10.7	-4.3	-2.4	16.2	-3.8	-20.3	-5.7	3.6	-5.7	-3.6
9	F	0.0	25.1	0.0	3.4	0.0	-48.3	0.0	-31.8	0.0	4.6	0.0	-4.6
9	K	0.0	-7.9	0.0	4.8	0.0	-42.1	0.0	-31.5	0.0	-1.7	0.0	1.7
9	Q	0.0	4.8	0.0	-7.9	0.0	-31.5	0.0	-42.1	0.0	1.7	0.0	-1.7
9	V	0.0	3.4	0.0	-7.1	0.0	-31.8	0.0	-48.3	0.0	-4.6	0.0	4.6

Frame Line	Column Line	F2PAT_SL_1		F2PAT_SL_2		F2PAT_SL_3		F2PAT_SL_4		F2PAT_SL_5		F2PAT_SL_6	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
9	A	3.3	24.9	-1.5	-5.1	0.9	1.8	-1.5	-1.4	3.2	2.3	1.8	19.8
9	AA	-3.2	2.3	1.5	-1.4	-0.9	1.8	1.5	-1.4	-3.3	24.9	-1.8	0.9
9	F	0.0	28.4	0.0	30.9	0.0	-5.8	0.0	2.8	0.0	-3.0	0.0	59.4
9	K	0.0	-4.7	0.0	28.3	0.0	29.0	0.0	-5.6	0.0	2.0	0.0	23.6
9	Q	0.0	2.0	0.0	-5.6	0.0	29.0	0.0	28.3	0.0	-4.7	0.0	3.6
9	V	0.0	-3.0	0.0	2.8	0.0	-5.8	0.0	30.9	0.0	28.4	0.0	-0.2

Frame Line	Column Line	F2PAT_SL_7		F2PAT_SL_8		F2PAT_SL_9		F2UNB_SL_L		F2UNB_SL_R	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
9	A	-0.6	-3.3	-0.6	0.4	1.8	0.9	6.7	43.5	6.7	24.2
9	AA	0.6	0.4	0.6	-3.3	-1.8	19.8	-6.7	24.2	-6.7	43.5
9	F	0.0	25.1	0.0	-3.0	0.0	-0.2	0.0	109.3	0.0	50.9
9	K	0.0	57.3	0.0	23.4	0.0	-3.6	0.0	94.4	0.0	52.6
9	Q	0.0	23.4	0.0	57.3	0.0	23.6	0.0	52.6	0.0	94.4
9	V	0.0	-3.0	0.0	25.1	0.0	59.4	0.0	50.9	0.0	109.3

2* Frame lines: 2 3 4 5 6 7 8
- BUILDING BRACING REACTIONS (UNFACTORED)
- | Loc | Line | ± Reactions(k) | | Wind | Seismic | Note |
|------|------|-----------------|------|------|---------|------|
| | | Horz | Vert | Horz | Vert | |
| L_EW | 1 | F/G | 1.4 | 2.6 | 3.6 | 6.7 |
| | | P/S | 1.4 | 1.9 | 3.6 | 4.8 |
| F_SW | AA | 2.3 | 10.4 | 12.5 | 19.1 | 23.1 |
| | | 6.7 | 10.4 | 12.5 | 19.1 | 23.1 |
| R_EW | 9 | | | | | (h) |
| B_SW | A | 7.6 | 10.4 | 12.5 | 19.1 | 23.1 |
| | | 5.4 | 10.4 | 12.5 | 19.1 | 23.1 |
| | | 3.2 | 10.4 | 12.5 | 19.1 | 23.1 |
- (h)Rigid frame at endwall
- ENDWALL COLUMN: BASIC COLUMN REACTIONS (UNFACTORED) (k)
- | Frm Line | Col Line | Dead | | Collat | | Live | | Snow | | Wind_Left1 | | Wind_Right1 | |
|----------|----------|------|------|--------|------|------|-------|------|------|------------|------|-------------|-------|
| | | Vert | Vert | Vert | Vert | Vert | Vert | Vert | Vert | Vert | Vert | Vert | Vert |
| 1 | A | 1.5 | 0.6 | 2.5 | 8.1 | -3.6 | -2.7 | -0.4 | 0.5 | -2.6 | 2.7 | -3.6 | -3.6 |
| 1 | B | 2.3 | 1.2 | 5.1 | 16.2 | -7.2 | -5.1 | -1.3 | 0.8 | -5.4 | 5.0 | -7.2 | -7.2 |
| 1 | D | 2.5 | 1.4 | 5.7 | 18.2 | -8.1 | -5.7 | -1.4 | 1.0 | -6.3 | 5.7 | -8.1 | -8.1 |
| 1 | F | 2.4 | 1.3 | 5.4 | 17.4 | -7.7 | -5.2 | -1.4 | 0.9 | -6.1 | 5.6 | -7.7 | -7.7 |
| 1 | G | 2.5 | 1.4 | 5.7 | 18.2 | -8.0 | -5.7 | -1.6 | 1.0 | -6.6 | 6.0 | -8.1 | -8.1 |
| 1 | J | 2.8 | 1.6 | 6.5 | 20.8 | -9.3 | -6.5 | -1.6 | 1.1 | -7.8 | 7.0 | -9.3 | -9.3 |
| 1 | L | 2.8 | 1.6 | 6.5 | 20.8 | -9.3 | -6.5 | -1.6 | 1.1 | -8.0 | 7.2 | -9.3 | -9.3 |
| 1 | N | 2.9 | 1.6 | 6.9 | 21.9 | -8.2 | -8.3 | -0.2 | -0.4 | -8.6 | 7.8 | -9.5 | -9.5 |
| 1 | P | 3.0 | 1.7 | 7.2 | 22.9 | -7.2 | -10.1 | 1.2 | -2.0 | -8.8 | 7.9 | -10.2 | -10.2 |
| 1 | S | 2.9 | 1.6 | 6.9 | 21.9 | -6.6 | -9.7 | 1.1 | -1.7 | -8.1 | 7.3 | -9.7 | -9.7 |
| 1 | U | 2.7 | 1.6 | 6.5 | 20.8 | -6.5 | -9.3 | 1.1 | -1.6 | -7.5 | 6.8 | -9.3 | -9.3 |
| 1 | W | 2.7 | 1.6 | 6.5 | 20.8 | -6.5 | -9.3 | 1.1 | -1.6 | -7.3 | 6.6 | -9.3 | -9.3 |
| 1 | Y | 2.7 | 1.6 | 6.6 | 21.1 | -6.6 | -9.4 | 1.1 | -1.7 | -7.1 | 6.4 | -9.4 | -9.4 |
| 1 | AA | 1.8 | 0.8 | 3.5 | 11.2 | -3.7 | -5.0 | 0.6 | -0.7 | -3.7 | 3.7 | -5.0 | -5.0 |

Frm Line	Col Line	Seis Left		Seis Right		E1UNB_SL_L		E1UNB_SL_R	
		Vert	Vert	Vert	Vert	Horz	Vert	Horz	Vert
1	A	0.0	0.0	0.0	8.1	0.0	4.0	0.0	4.0
1	B	0.0	0.0	0.0	16.2	0.0	8.1	0.0	8.1
1	D	0.0	0.0	0.0	18.2	0.0	9.1	0.0	9.1
1	E	0.0							



Base EL: 100'
THK: $\frac{3}{8}$ "
DIA: $\frac{3}{4}$ "

Base EL: 100
THK: $\frac{1}{4}$ "

Base EL: 101'
THK: $\frac{1}{2}$ "
DIA: $\frac{3}{4}$ "

Base EL:
THK: $\frac{1}{2}$ "
DIA: $\frac{7}{8}$ "

Base EL: 100
THK: $\frac{1}{2}$ "

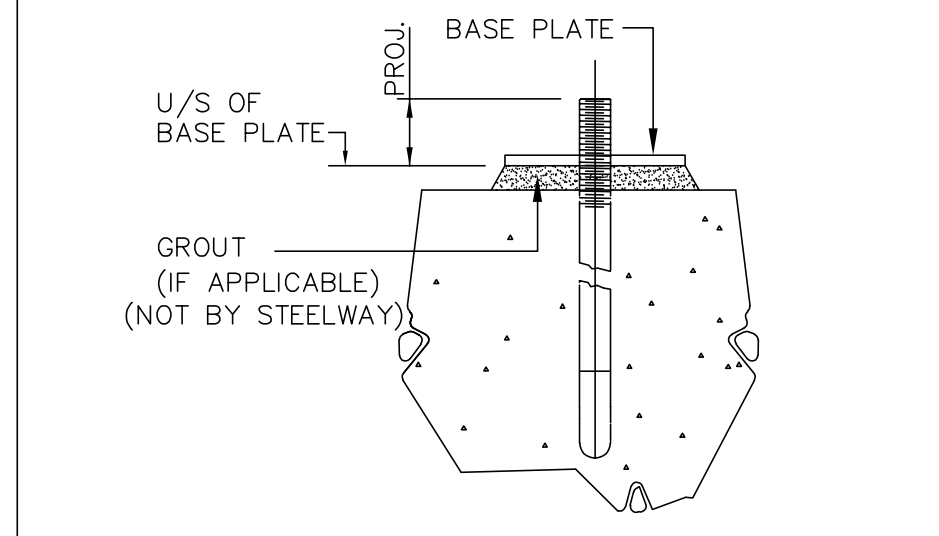
Base EL: 101
THK: $\frac{1}{2}$ "
DIA: $\frac{3}{4}$ "

EXPANDABLE BAY FOR 25'-0"

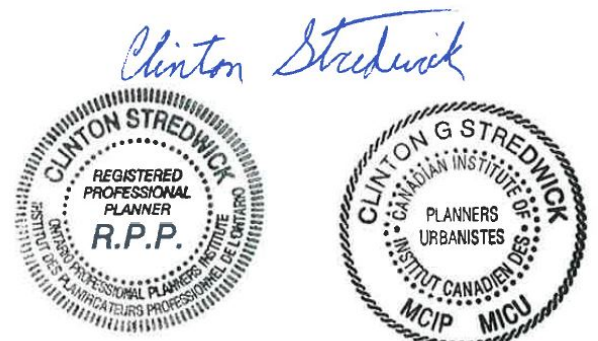
NOTE: UNDERSIDE OF ALL BASE PLATE 100'-0" (U.N.)

- GENERAL NOTES**
1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND SIGNATURE AND IS FREE OF ANY NOTATIONS STATING OTHERWISE.
 2. CROSS REFERENCES IN DETAILS SHOW SPECIFIC LOCATIONS, REFER TO PLAN FOR ALL LOCATIONS.
 3. BOLT GAUGES ARE SYMMETRICAL ABOUT COLUMN WEB UNLESS NOTED.
 4. ALL ANCHOR DIMENSIONS ARE CENTER TO CENTER.
 5. ANCHOR PLACEMENT MUST MEET CAN/CSA S16 TOLERANCES.
 6. REFER TO CHART BELOW FOR ANCHOR PROJECTION REQUIREMENTS.

ANCHOR PROJECTION					
ANCHOR DIAMETER					
BP THK.	3/4"	7/8"	1"	1 1/4"	1 1/2"
1/4"	2"-3"	2"-3"	2"-3"	NA	NA
3/8"	2"-3"	2"-3"	2"-3"	NA	NA
1/2"	2"-3"	2"-3"	2"-3"	3"-4"	3"-4"
5/8"	2"-3"	2"-3"	3"-4"	3"-4"	3"-4"
3/4"	2"-3"	3"-4"	3"-4"	3"-4"	3"-4"
1"	3"-4"	3"-4"	3"-4"	3"-4"	3"-4"
1 1/4"	NA	NA	3"-4"	3"-4"	4"-5"
1 1/2"	NA	NA	NA	4"-5"	4"-5"



LEGEND:
Dia=Anchor Bolt Diameter
Thk=Base Plate Thickness



Drawing # 10 Dated March 2, 2022

MANUFACTURING PROCEEDING

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED ANCHOR PLAN & DETAILS
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description

CLIENT

GLOBAL STEEL BUILDINGS

PROJECT	
---------	--

GREEN LID DUNDALK

PROJECT LOCATION

DUNDALK, ONTARIO

DRAWING NAME


ANCHOR BOLT PLAN & DETAILS

DRAWING No

76198-S1

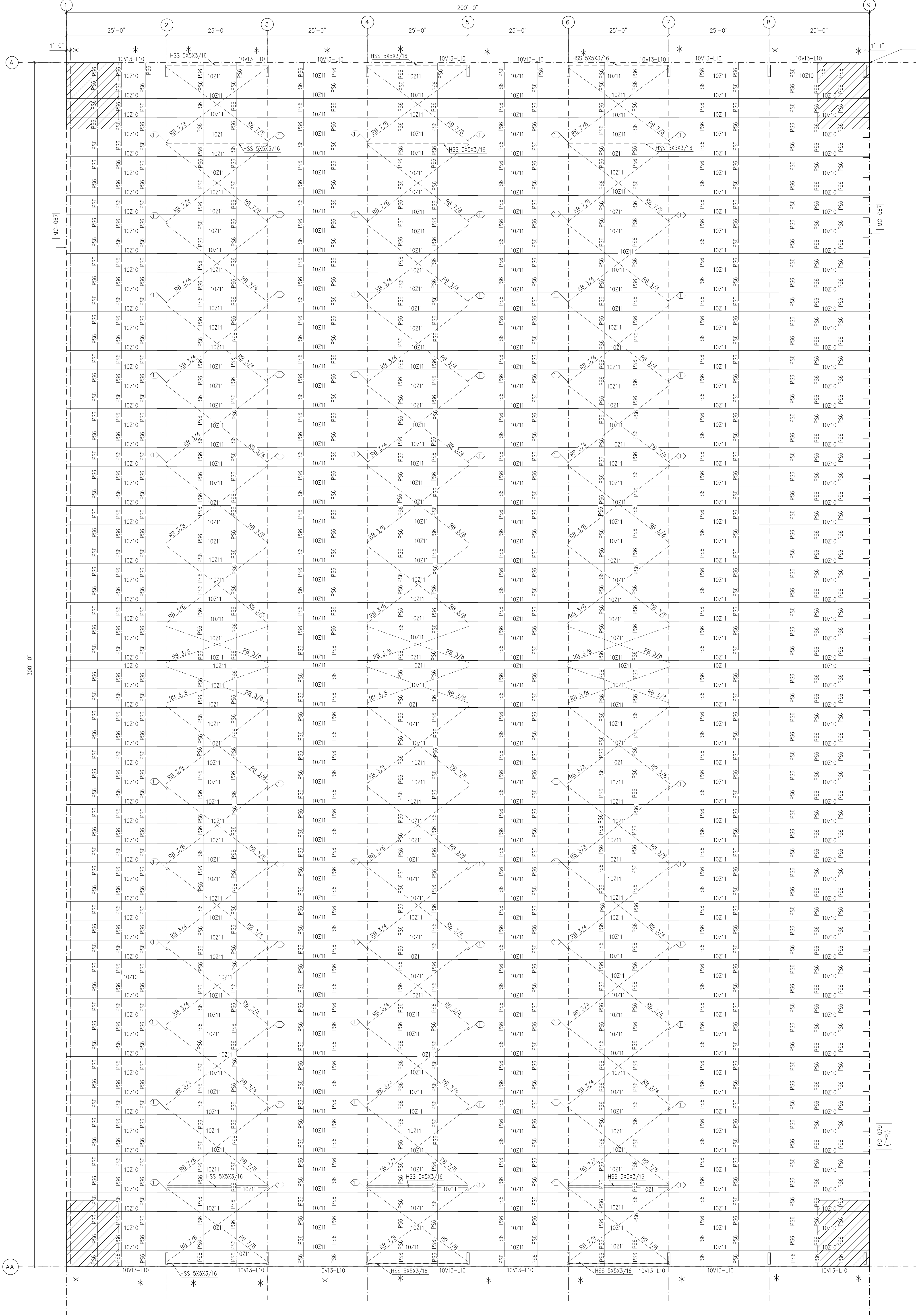
DRAWN BY KSK

SHEET: ANSI D (22"x34")





Drawing #11 Dated March 2, 2022



ROOF FRAMING PLAN
* -DENOTE DOWNSPOUTS LOCATIONS

ERECTOR NOTE: USE FLOATING CLIP RT4129FL AT EACH 12'-0"x16'-2" CORNER ZONE

M28
(10)

50'-2 1/2" (10)	50'-2" (10)	49'-11" (10)	49'-11" (10)	50'-2" (10)	50'-2 1/2" (10)
-----------------	-------------	--------------	--------------	-------------	-----------------

ROOF SHEETING
PANELS: 24 Ga. RTL
GALVALUME

SPECIAL BOLTS				
Ø ID	QUAN	TYPE	DIA	LENGTH
1	4	GR-6.2	1/2"	1 1/2"

GENERAL NOTES

- INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
- STEELWAY ASSUMES ALL LOADS HAVE BEEN PROVIDED BY CUSTOMER. IF LOADS ARE NOT NOTED, STRUCTURE HAS NOT BEEN DESIGNED FOR THEM.
- FIELD-CUTTING OF PURLINS FOR ROOF OPENING(S) NOT PERMITTED.
- REINFORCING OF EXISTING BUILDING FOR SNOW ACCUMULATION IS NOT BY STEELWAY.
- ALL CONNECTIONS TO PURLINS FOR ANY COMPONENT WITH A LOAD MUST BE CONNECTED TO THE WEB OF THE PURLIN, SEE DETAIL BELOW. PLEASE CONSULT WITH STEELWAY BUILDING SYSTEMS OR A PROFESSIONAL ENGINEER IF CONNECTION TO THE FLANGE OF THE PURLIN IS REQUIRED.

PURLIN WEB CONNECTION

OPTION 1

OPTION 2

MIN 3/16" ANGLE

HANGING EQUIPMENT NOT BY STEELWAY

NOTE: STEELWAY IS NOT RESPONSIBLE FOR CONNECTIONS OF COMPONENTS THAT ARE NOT PROVIDED BY STEELWAY. THIS SKETCH IS INTENDED ONLY AS A GUIDELINE - A SUGGESTION OF HOW TO ACHIEVE CONNECTION TO PURLIN WEB.

RTL-24 SEAMING REQUIREMENTS:

THE ROOF PANELS ARE TO BE MECHANICALLY SEAMED AS FOLLOWS:

ROLLLOC (HAND CRIMPING) MUST BE DONE AT EAVE, RIDGE AND EACH CLIP PRIOR TO MECHANICALLY SEAMING.

(X) TRIPLE LOC (MECHANICALLY SEAMED, SINGLE PASS)

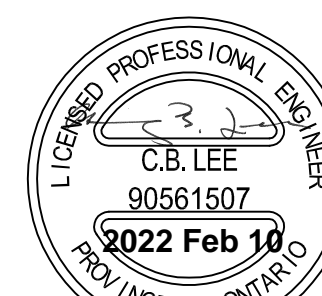
(X) QUAD LOC (MECHANICALLY SEAMED, DOUBLE PASS)

- ALL SAFETY REGULATIONS TO BE FOLLOWED WHEN OPERATING ELECTRICAL SEAMER.

- STEELWAY IS NOT RESPONSIBLE FOR DAMAGE OF SEAMER DUE TO IMPROPER USE.

MANUFACTURING PROCEEDING

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED ROOF FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev. Date	By	Description	
CLIENT			
GLOBAL STEEL BUILDINGS			
PROJECT			
GREEN LID DUNDALK			
PROJECT LOCATION			
DUNDALK, ONTARIO			
DRAWING NAME			
ROOF PLAN			
DRAWING No.			
76198-S2			
DRAWN BY KSK		CHECKED BY	
PROJECT: 76198-S2 (2022-03-02)		DRAWER'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS	
			



RTL-24 SEAMING REQUIREMENTS:

THE ROOF PANELS ARE TO BE MECHANICALLY SEAMED AS FOLLOWS:

ROLLLOC (HAND CRIMPING) MUST BE DONE AT EAVE, RIDGE AND EACH CLIP PRIOR TO MECHANICALLY SEAMING.

(X) TRIPLE LOC (MECHANICALLY SEAMED, SINGLE PASS)

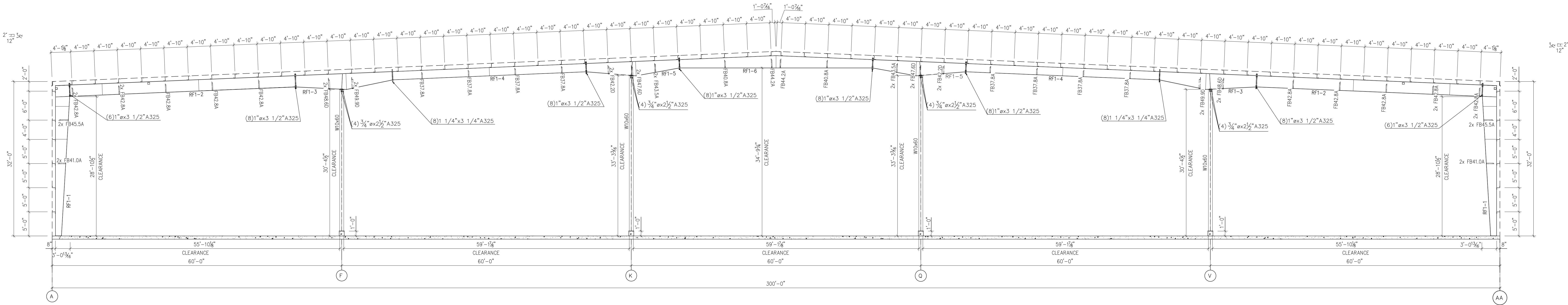
(X) QUAD LOC (MECHANICALLY SEAMED, DOUBLE PASS)

- ALL SAFETY REGULATIONS TO BE FOLLOWED WHEN OPERATING ELECTRICAL SEAMER.

- STEELWAY IS NOT RESPONSIBLE FOR DAMAGE OF SEAMER DUE TO IMPROPER USE.

MEMBER	Tab	Web Depth	Web Plate	Outside Flange		Inside Flange	
Mark	Start/End	Thick	Length	W x Thk x Length	W x Thk x Length	W x Thk x Length	W x Thk x Length
RF1-1	14.5/28.7	0.200	240.0	8 x 5/8" x 34.6	8 x 1/2" x 346.5		
	28.7/33.6	0.313	81.9				
	33.6/35.0	0.313	52.6				
RF1-2	27.5/27.5	0.250	79.9	8 x 5/8" x 559.9	8 x 5/8" x 559.9		
	27.5/27.5	0.250	240.0				
	27.5/27.5	0.250	240.0				
RF1-3	27.6/38.0	0.313	124.9	8 x 3/4" x 239.5	8 x 3/4" x 125.4		
	38.0/39.2	0.313	114.6		8 x 3/4" x 116.0		
RF1-4	20.0/20.0	0.250	240.0	8 x 1/2" x 480.0	8 x 1/2" x 480.0		
	20.0/20.0	0.250	240.0				
RF1-5	20.1/35.0	0.313	122.2	8 x 3/4" x 230.0	8 x 3/4" x 123.0		
	35.0/35.1	0.313	107.8		8 x 3/4" x 108.7		
RF1-6	20.0/20.0	0.250	239.8	8 x 1/2" x 240.0	8 x 1/2" x 477.8		
	30.0/20.0	0.250	239.8				

- GENERAL NOTES
1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 2. MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.
 3. FLANGE BRACES:
FBxxk- xx=length(in)
A = L2X13SA
D = L3X11GA
C = L3X8
 4. RIGID FRAME LABELS:
RF12 ASSEMBLY MARK NUMBER
RF1-2 REFER TO MARK N MEMBER TABLE



RIGID FRAME CROSS SECTION: FRAME LINE 2 3 4 5 6 7 & 8

MANUFACTURING PROCEEDING

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

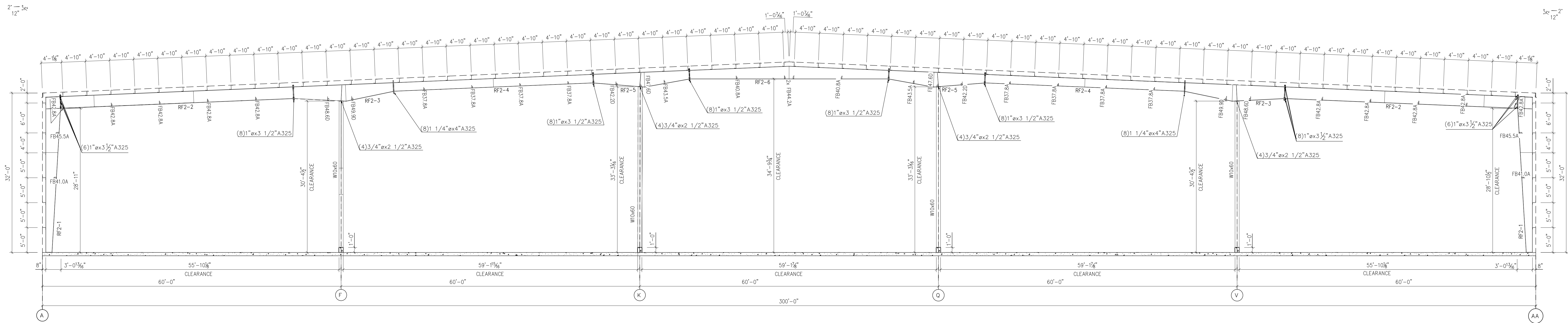
1	02/09/2022	EB	REVISED RIGID FRAME
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description
CLIENT			
GLOBAL STEEL BUILDINGS			
PROJECT			
GREEN LID DUNDALK			
PROJECT LOCATION			
DUNDALK, ONTARIO			
DRAWING NAME			
FRAME CROSS SECTION			
DRAWING No.			
76198-S3			
DRAWN BY		KSK	
CHECKED BY			
PROJECT: MB 0 (227-247)			
BUSINESS'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS			
DRAWN BY		KSK	
CHECKED BY			
PROJECT: MB 0 (227-247)		BUSINESS'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS	
DRAWN BY		KSK	
CHECKED BY			
PROJECT: MB 0 (227-247)		BUSINESS'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS	

Drawing # 12 Dated March 2, 2022

Marker	Start Length	Stop Length	Start Thickness	Stop Thickness	Outside Face	Inside Face
	W x L x T	W x L x T			W x T x L	W x T x L
RF-2-1	14.5/28.0	0.220	24.0	8 x 5/16" x 37.1		
	28.0/28.0	0.313	114.6	8 x 5/8" x 356.5		
RF-2-2	27.5/27.5	0.250	79.0	8 x 5/8" x 559.9		
	27.5/27.5	0.250	24.0			
RF-2-3	39.0/20.0	0.313	129.9	8 x 3/4" x 239.5		
	39.0/20.0	0.313	114.6	8 x 3/4" x 125.4		
RF-2-4	20.0/20.0	0.250	240.0	8 x 1/2" x 480.0		
	20.0/20.0	0.250	240.0	8 x 1/2" x 480.0		
RF-2-5	20.0/30.0	0.313	122.2	8 x 3/4" x 230.0		
	20.0/30.0	0.313	107.6	8 x 3/4" x 123.0		
RF-2-6	20.0/30.0	0.250	239.8	8 x 1/2" x 240.0		
	30.0/20.0	0.250	239.8	8 x 1/2" x 240.0		

GENERAL NOTES

1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STATEWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
2. MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.
3. FLANGE BRACES:
FBXa: $x = \text{length(in)}$
A - L2X13GA
D - L3X11GA
C - L3X8
4. RIGID FRAME LABELS:
RF12 ASSEMBLY MARK NUMBER
RF1-2 REFER TO MARK IN MEMBER TABLE



RIGID FRAME CROSS SECTION: FRAME LINE 9
AT TIME OF EXPANSION, ADDITIONAL FLAGE BRACES MUST BE INSTALLED TO
MATCH THE INTERIOR FRAME LINES.

MANUFACTURING PROCEEDING


THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED RIGID FRAME
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description

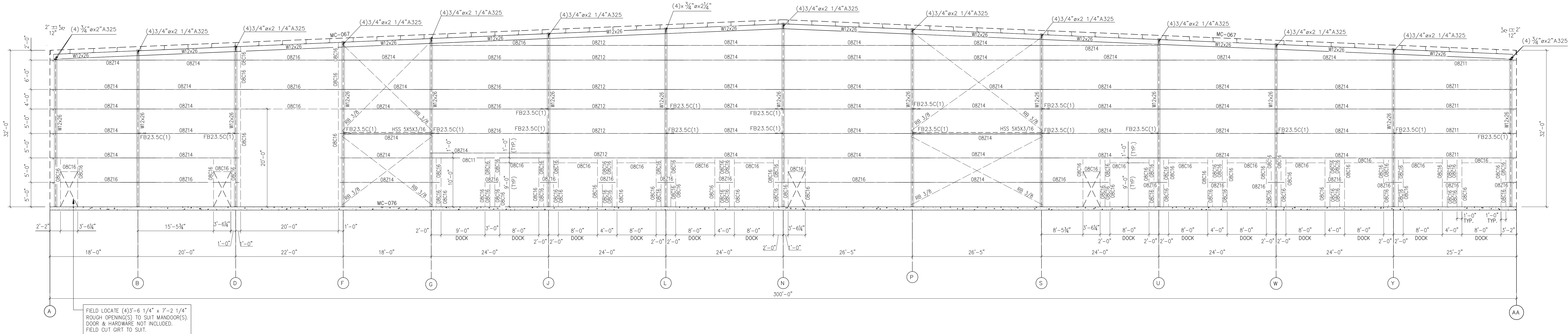
CLIENT
GLOBAL STEEL BUILDINGS
PROJECT
GREEN LID DUNDALK
PROJECT LOCATION
DUNDALK, ONTARIO

DRAWING NAME
FRAME CROSS SECTION
DRAWING No.
76198-S4

DRAWN BY	KSK	CHECKED BY
SHEET: ANSI D (22"X34")		ENGINEER'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS

	
--	---

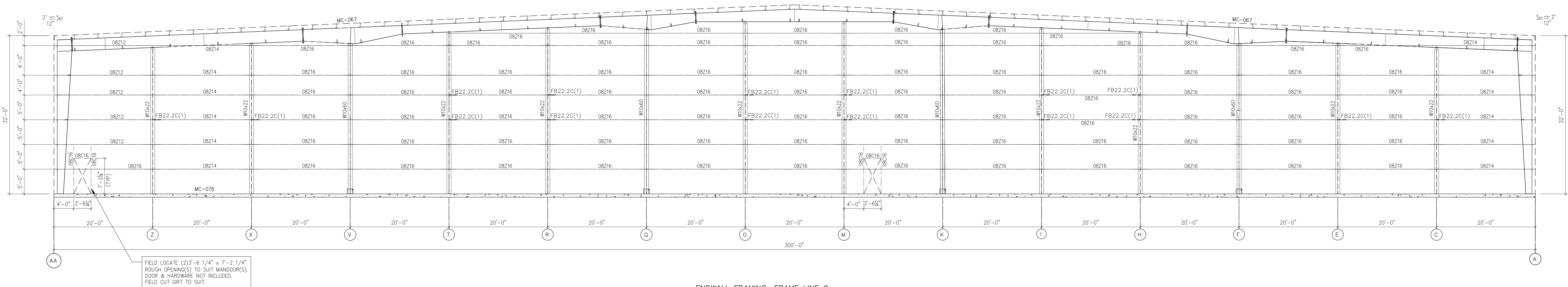
Drawing #13 Dated March 2, 2022



ENDWALL FRAMING: FRAME LINE 1
PLEASE CONFIRM FIELD LOCATED OPENINGS



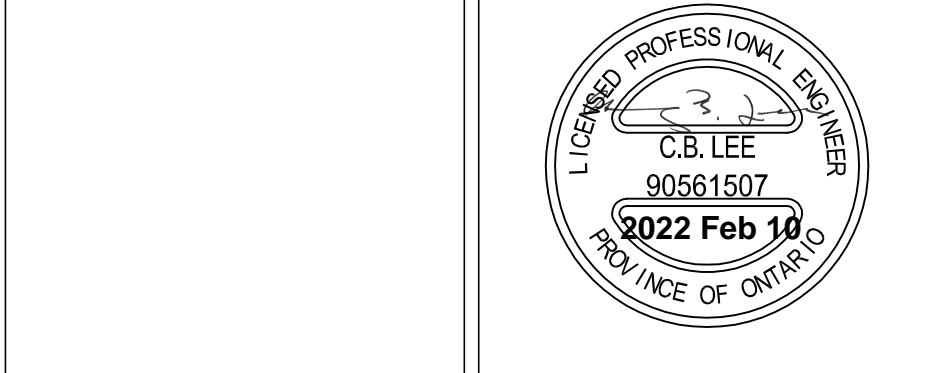
Drawing #14 Dated March 2, 2022



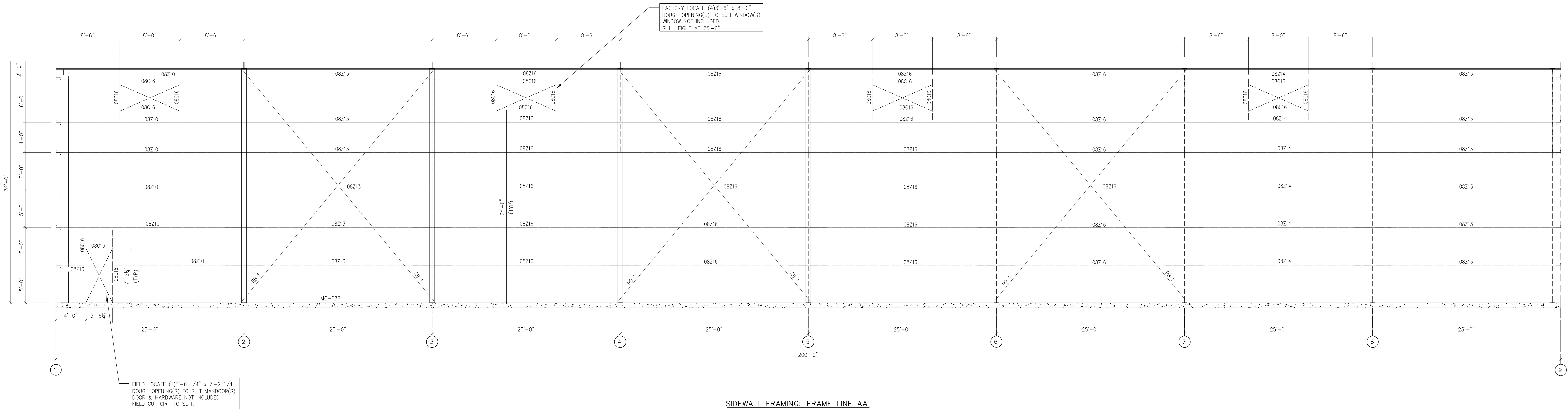
ENDWALL FRAMING: FRAME LINE 9
PLEASE CONFIRM FIELD LOCATED OPENINGS

MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED ENDWALL FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description
CLIENT			
GLOBAL STEEL BUILDINGS			
PROJECT			
GREEN LID DUNDALK			
PROJECT LOCATION			
DUNDALK, ONTARIO			
DRAWING NAME			
ENDWALL ELEVATIONS			
DRAWING No.			
76198-S5			
DRAWN BY		CHECKED BY	
KSK		C.B. LEE	
PROJECT: 76198-S5 (2022-03)			



- GENERAL NOTES
1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 2. DOOR FRAMED OPENINGS NOTED NOMINALLY AS 3'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 3'-4 8/7"-2 1/4". DOOR FRAMED OPENINGS NOTED NOMINALLY AS 6'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 6'-4 8/7"-2 1/4". HEADERS ARE NOT PROVIDED IF 7'-6" GIRT IS PRESENT.
 3. ALL OTHER FRAMED OPENINGS ARE PROVIDED WITH THE ROUGH OPENING DIMENSIONS INDICATED.
 4. ALL FRAMED OPENINGS ARE FACTORY LOCATED, UNLESS NOTED AS FIELD LOCATED. FIELD WORK IS REQUIRED FOR FIELD LOCATED OPENINGS.
 - 4.1. IF GIRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING LOCATION MAY BE ADJUSTED FROM THE DIMENSIONS PROVIDED ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS, UP TO 1'-0" HORIZONTALLY. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
 - 4.2. IF NO GIRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING MAY BE LOCATED ANYWHERE WITHIN THE BAY/GIRT SPACING THEY ARE SHOWN ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
 5. GIRTS ARE TOED UP UNLESS NOTED OTHERWISE AS (TOED DOWN). IF THERE IS A DISCREPANCY, PLEASE REFER TO MODEL.
 6. MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.



SIDEWALL FRAMING: FRAME LINE AA

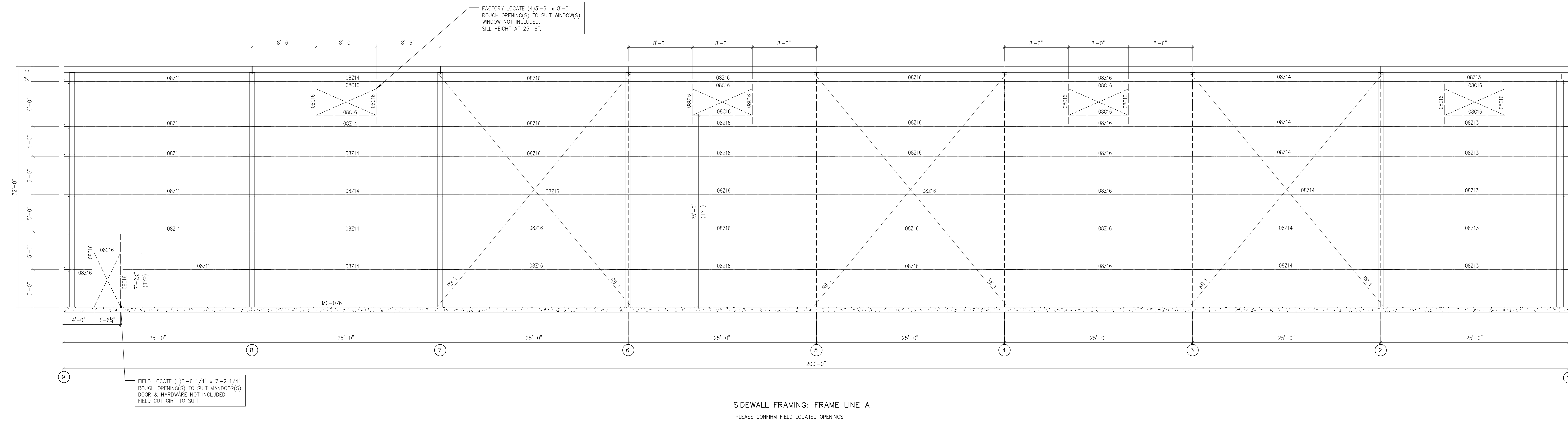
PLEASE CONFIRM FIELD LOCATED OPENINGS



Drawing # 15 Dated March 2, 2022

MANUFACTURING PROCEEDING

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.



SIDEWALL FRAMING: FRAME LINE A

PLEASE CONFIRM FIELD LOCATED OPENINGS

1	02/09/2022	EB	REVISED SIDEWALL FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description

CLIENT	GLOBAL STEEL BUILDINGS
PROJECT	GREEN LID DUNDALK
PROJECT LOCATION	DUNDALK, ONTARIO
DRAWING NAME	SIDEWALL ELEVATIONS
DRAWING No.	76198-S6
DRAWN BY	KSK
CHECKED BY	C.B. LEE
DATE	2022 Feb 16

