

The Corporation of the Township of Southgate
By-law Number 2022-031

Being a by-law to authorize the execution of a Site Plan Control Agreement

Whereas Section 41 of the Planning Act, RSO 1990, Chapter P.13 as amended authorizes municipalities to designate areas of Site Plan Control, and to subsequently enter into agreements with respect to the conditions of development or redevelopment of lands in areas of Site Plan Control; and

Whereas all of the lands within the Township are designated as a Site Plan Control Area pursuant to the provisions of Section 41 of the Planning Act and By-law 2021-111; and

Whereas the Council of the Township of Southgate deems it expedient to enter into a Site Plan Agreement with the owner,

Now therefore be it resolved that the Council of the Corporation of the Township of Southgate enacts as follows:

1. **That** a Site Plan Agreement between 2137569 Ontario Inc and the Township of Southgate for the development of the lands described as Part Lot 235-236 Concession 2 SWTSR, Being Parts 1 & 6, Plan 16R11609, Subject to an Easement over Part 1 In GY70526, Township of Southgate is authorized. Such agreement being attached hereto as Schedule "A" and which forms a part of this by-law;
2. **That** the Mayor and Clerk are authorized to sign the Site Plan Agreement on behalf of the Council of the Corporation of the Township of Southgate in substantially the form as that set out in Schedule A;
3. **That** the Clerk is authorized and directed to cause notice of the Site Plan Agreement to be registered on the title to the said lands forthwith after it has been signed by all parties; and
4. **That** this By-law shall come into full force and effect upon the final passing hereof.

Read a first and second time this 2nd day of March 2022.

Read a third time and finally passed this 2nd day of March 2022.

Mayor – John Woodbury

Clerk- Lindsey Green

THE CORPORATION OF
THE TOWNSHIP OF SOUTHGATE

SITE PLAN AGREEMENT

THIS AGREEMENT made in triplicate this _____ day of _____, 2021

Between: 2137569 Ontario Inc

(hereinafter called the "OWNERS" OF THE FIRST PART)

- and -

THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE

(hereinafter called the "TOWNSHIP" OF THE SECOND PART)

WHEREAS the OWNERS represents that they are the owners of these lands and premises in the Township of Southgate in the County of Grey, being more particularly described in s Schedule "A"

AND WHEREAS the OWNERS have applied to the TOWNSHIP to permit development on the OWNER'S lands;

AND WHEREAS the Encumbrancer(s) (if any) hold registered security interests in the lands and all Encumbrancers of the lands are included as parties to this Agreement

AND WHEREAS the OWNERS have agreed with the TOWNSHIP to furnish and perform the works, material, matters and things required to be done, furnished and performed in the manner hereinafter described in connection with the proposed use of the subject lands;

AND WHEREAS the said lands have been designated by the Council of the TOWNSHIP as being within a site plan control area as provided by Section 41 of the Planning Act, R.S.O. 1990, as amended;

NOW THEREFORE witnesseth that in consideration of other good and valuable consideration and the sum of one -----(\$1.00)-----DOLLAR of lawful money of Canada now paid by the TOWNSHIP to the OWNER, the receipt whereof is hereby acknowledged, the OWNERS and the TOWNSHIP covenant, declare and agree as follows:

SECTION 1 - LANDS TO BE BOUND

1. The lands to be bound by the terms and conditions of this Agreement (sometimes referred to as "the subject lands"), are located in the geographic Village of Dundalk, in the TOWNSHIP OF SOUTHGATE, and are more particularly described in Schedule "A".

SECTION II - COMPONENTS OF THE AGREEMENT

1. The text and the following Schedules, which are annexed hereto, constitute the components of this Agreement.

Schedule "A" - Legal Description of the Lands being developed.

Schedule "B" - Site Plan(s)

Schedule "C" - Description of Securities

SECTION III - REGISTRATION OF AGREEMENT

1. This Agreement shall be registered on title to the said lands as provided for by Section 41(10) of the Planning Act, R.S.O., 1990, as amended, at the expense of the OWNERS;
2. The OWNERS agree that all documents required herein shall be submitted in a form suitable to the TOWNSHIP and suitable for registration, as required;
3. The PARTIES agree that this Agreement must be registered against the OWNERS' lands within thirty (30) days of the execution thereof by both parties.

SECTION IV - BUILDING PERMITS

1. The OWNERS agree to not request the Chief Building Official to issue any further building permits to carry out the development until this Agreement has been registered on title to the lands described in Schedule "A" attached hereto and a registered copy of same has been provided to the Township.
2. It is agreed that if the OWNERS fail to apply for any building permit or permits to implement this Agreement within 12 months from the date upon which such building permit would be available, then the TOWNSHIP, at its option has the right to terminate the said Agreement and require that a new Site Plan Agreement be submitted for approval and execution.

SECTION V - PROVISIONS

1. **THIS AGREEMENT** applies to works related to the entire subject lands and includes the exterior of existing buildings, new structures, drainage and servicing and entrance as required. Agricultural and residential uses are not applicable to this Site Plan Agreement in accordance with section 41 of the Planning Act and By-law 47-2007.
2. **THE OWNERS** further covenant and agree to develop the subject lands in accordance with the Site Plan being Schedule "B" attached hereto, and that no work will be performed on the subject lands except in conformity to all provisions of this Agreement.
3. **THE OWNERS** agree to carry out on the lands at the work, and to construct, install and maintain at its expense all of the services, works and facilities stipulated, described by words and numbers, and shown in and upon the following Plans, that is:

(i) Submitted Site Plan Drawings;

which Plan is hereinafter called "the Site Plan." Notwithstanding the generality of the foregoing the requirements under this agreement include all of the notes and printed text contained in and on the Plans making up the Site Plan.

4. **FURTHER DESCRIPTION OF WORK AND LOCATION OF SITE PLAN.** Without limiting the generality of the foregoing, all of the specifications and said requirements contained in the said Site Plan, which is on file at Southgate's Municipal Office, shall be adhered to and satisfied by the Owner to the satisfaction of Southgate.
5. **EXTERIOR FASCIA.** The owner agrees to construct buildings in accordance with submitted drawings. Significant alterations to the exterior of the building or site may require amendments to this agreement to update drawings.
6. **STORM DRAINAGE -- GENERAL.** Notwithstanding the foregoing, the Owner agrees that the storm drainage system on and for the lands shall be designed and constructed to the satisfaction of Southgate at the expense of the Owner.

7. **ENTRANCE.** The entrance to the property is from Eco Parkway. A Commercial Entrance permit is required and a paved apron between the edge of pavement and the property line is required at the expense of the owner.

8. **FIRE SUPPRESSION.** The owner agrees to install all necessary servicing and equipment, including hydrants, on the property for fire fighting and fire suppression including, if required, a water reservoir, at the owners expense.

9. **SERVICING.** The owner is responsible for ensuring that property is connected to municipal water and sewer services and that any connection fees are paid at the owners expense.

10. **LANDSCAPED BUFFERING.** The owner agrees to install all landscaping in accordance with the landscaping plan attached in schedule B of this agreement. The landscaping shall be maintained for the purpose of providing a visual buffer of the buildings to the residential lots on the western edge of the property.

11. **OUTSIDE STORAGE.** Outside storage may only be located in the areas identified on the Site Plan. Stacking in the outside storage area is limited to a maximum height of 3m and in no case will it be higher than the eaves of the workshop.

12. **DUST CONTROL MEASURES.** The owner agrees to provide for dust control measures such as calcium and water, to mitigate impacts as required by the Township of Southgate. These measures will be required for those areas of the site not asphalted or seeded with grass.

13. **LIGHTING.** All exterior lighting must be dark sky compliant. It must be pointed downward and remain internal to the site in accordance with the Township of Southgate Standards.

14. **SECURITIES** To insure that external works and landscaping are completed along with site grading, securities shall be provided just prior to registration of the agreement on title in accordance with schedule C.

15. **POSTPONEMENT AND SUBORDINATION OF ENCUMBRANCES.** The Owner covenants and agrees, at its own expense, to obtain and register such documentation from its mortgagees or those holding encumbrances as may be deemed necessary by Southgate to postpone and subordinate their interest in the lands to the interest of Southgate to the extent that this Agreement shall take effect and have priority as if it have been executed and registered prior to the execution and registration of any such mortgages or encumbrances.

16. **SOUTHGATE'S PROFESSIONAL FEES AND DISBURSEMENTS.** The Owner shall reimburse Southgate for all of its engineering and legal expenses (professional fees and disbursements) in connection with the development and implementation of this Agreement.

17. **WAIVER.** The failure of Southgate at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by Southgate of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Southgate shall specifically retain its rights at law to enforce this Agreement.

18. **NO CHALLENGE TO THE AGREEMENT.** The parties covenant and agree with each other not to call into question or challenge, directly or indirectly, in any proceeding or action in court, or before any administrative tribunal, the parties' right

to enter into and force this Agreement. The law of contract applies to this Agreement and the parties are entitled to all remedies arising from it, notwithstanding any provisions in Section 41 of the Planning Act interpreted to the contrary. The parties agree that adequate consideration has flowed from each party to the other and that they are not severable. This provision may be pleaded by either party in any action or proceeding as an estoppel of any denial of such right.

19. **ENFORCEMENT.** The Owner acknowledges that Southgate, in addition to any other remedy it may have at law, may also be entitled to enforce this Agreement in accordance with Section 446 of the **Municipal Act, 2001** as amended.

20. **MEDIATION.** Without affecting Southgate's statutory right under subsection 41(11) of the said **Planning Act** to, at its complete discretion, invoke the provisions of Section 446 of the **Municipal Act, 2001** as amended regarding any applicable requirement herein in which case this paragraph shall be inoperative and inapplicable, in the event that a dispute relating to this Agreement or its implementation arises that cannot be resolved by negotiation between the parties, the parties agree to use the services of a mediator to attempt to resolve their differences and failing agreement on the procedure to be followed, it shall be conducted in accordance with the rules of procedure for the conduct of mediations of the ADR Institute of Ontario Inc. or its successor body.

21. **REGISTRATION.** The Owner consents to the registration of this Agreement or Notice of this Agreement by Southgate on the title to the lands.

22. **ENUREMENT CLAUSE.** The covenants, agreements, stipulations, declarations, and provisions contained herein shall run with the lands and shall be binding upon the Owner and its successors and assigns and the benefit thereof shall enure to Southgate and its successors and assigns.

SECTION VI - BINDING PARTIES, ALTERATION, AMENDMENT, EFFECT, NOTICE, PENALTY

1. This Agreement may only be amended or varied by a written document of equal formality herewith duly executed by the parties hereto and registered against the title to the subject lands.

2. The OWNER further agrees to complete the items detailed on Schedule "B" within two (2) years of the date of registration of this Agreement.

3. Following completion of the works, the OWNER shall maintain to the satisfaction of the TOWNSHIP, and at the sole expense of the OWNER, all the facilities or works described in Schedule "B".

4. This Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of each of the PARTIES hereto.

5. The Agreement shall come into effect on the date of execution by the TOWNSHIP.

6. The OWNER acknowledges that this Agreement is entered into under the provisions of Section 41(7)(c) of the Planning Act, R.S.O., 1990, as amended.

7. Any notice required to be given pursuant to the terms hereto shall be in writing and mailed or delivered to the other at the following address:

To the OWNER: 2137569 Ontario Inc
485387 30 Sideroad
Shelburne, ON
L9V 3N5

To the TOWNSHIP: Clerk
Township of Southgate
185667 Grey Rd 9, R.R. 1,
Dundalk, ON
N0C 1B0

IN WITNESS WHEREOF the corporate parties have executed this Agreement by affixing thereto their corporate seals, as attested by the hand of their proper signing officers duly authorized in that behalf.

AND IN WITNESS WHEREOF the natural parties hereto have hereunto set their hands and seals. Signing authorized by By-law 2022-031.

SIGNED, SEALED AND
DELIVERED

2137569 Ontario Inc

in the presence of:

Witness

Witness

)
)
)
)
)
)
)
) Per: _____
) Name: _____
) Date: _____

)
) Per: _____
) Name: _____
) Date: _____

**THE CORPORATION OF THE
TOWNSHIP OF SOUTHGATE**

)
) Per: _____
) John Woodbury, Mayor

)
) Per: _____
) Lindsey Green, Clerk

)
) Date: _____

)
) We have authority to bind the corporation

)
)
)

Schedule "A"

THE LAND

All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Southgate, in the County of Grey and Province of Ontario, and being composed of:

**Part Lot 235-236 Concession 2 SWTSR, Being Parts 1 & 6,
Plan 16R11609, Subject to an Easement over Part 1 In
GY70526 , Geographic Village of Dundalk, Township of
Southgate.**

Schedule "B"

SITE PLANS

Drawing #1. Dated March 2nd, 2022 and signed by the planner

Drawing #2. Dated March 2nd, 2022 and signed by the planner

Drawing #3. Dated March 2nd, 2022 and signed by the planner

Drawing #4. Dated March 2nd, 2022 and signed by the planner

Drawing #5. Dated March 2nd, 2022 and signed by the planner

Drawing #6. Dated March 2nd, 2022 and signed by the planner

Drawing #7. Dated March 2nd, 2022 and signed by the planner

Drawing #8. Dated March 2nd, 2022 and signed by the planner

Drawing #9. Dated March 2nd, 2022 and signed by the planner

Drawing #10. Dated March 2nd, 2022 and signed by the planner

Drawing #11. Dated March 2nd, 2022 and signed by the planner

Drawing #12. Dated March 2nd, 2022 and signed by the planner

Drawing #13. Dated March 2nd, 2022 and signed by the planner

Drawing #14. Dated March 2nd, 2022 and signed by the planner

Drawing #15. Dated March 2nd, 2022 and signed by the planner

Schedule "C"
PAYMENTS TO BE MADE
AND
SECURITIES TO BE PROVIDED TO THE TOWNSHIP

<u>PAYMENTS TO THE TOWNSHP</u>	<u>DUE DATE</u>
Building Deposit	Upon Building Permit issuance
Development and Education Charges	Upon Building Permit issuance

In addition, The developer shall provide securities in the amount of \$560 950.00 in accordance with the attached securities estimates. These securities shall be provided in the form of an irrevocable standby letter of credit. A draft of a letter of credit has been provided in this section of the agreement.

1. The Securities below are to outline additional securities amount require to support this agreement, and to be reviewed and updated prior to registration of this agreement.

Triton Engineering Services Limited
 Cost Estimate
 Ice River Sustainable Solutions
 Construction of Proposed Industrial Facility
 Eco Parkway, Dundalk, Township of Southgate

SECTION I - EXTERNAL WORKS					
1.01	Traffic Control	100 %	L.S.	\$500.00	\$500.00
1.02	Topsoil Stripping	120	m ²	\$20.00	\$2,400.00
1.03	Supply, Excavate for and Install 375 mm Diameter HDPE Culvert	40	m	\$150.00	\$6,000.00
1.04	Break Into and Connect to Existing Sanitary Maintenance Hole	1	Each	\$1,750.00	\$1,750.00
1.05	Supply, Excavate For and Install 200 mm Diameter Sanitary Sewer	14	m	\$150.00	\$2,100.00
1.06	Construct 1200 mm Diameter Maintenance Hole (OPSD-701.010)	1	Each	\$4,500.00	\$4,500.00
1.07	Supply and Install Maintenance Hole Frame and Cover (OPSD-401.010, Type "A")	1	Each	\$350.00	\$350.00
1.08	Connection To Existing Watermain	1	each	\$7,000.00	\$7,000.00
1.09	Supply, Excavate For and Install 150 mm Dia. (DR-18, CL 150 PVC) Ring- Tite Watermain	8	m	\$150.00	\$1,200.00

	Including Tracer Wire				
1.10	Supply, Excavate For and Install 150 mm Dia. Gate Valve and Box	2	Each	\$1,500.00	\$3,000.00
1.11	Supply and Install Anodes (DZP-12, 5.4 Kg) On Iron Fittings and Valves	3	Each	\$100.00	\$300.00
1.12	Supply, Excavate For and Install 50 mm Dia. Water Service Including Connection To Existing PVC Watermain Including 50 mmX 75 mm Marker At Property Line	1	Each	\$2,500.00	\$2,500.00
1.13	Construct Driveway Entrance including Granulars and Restoration				
	i) North	100 %	L.S.	\$3,800.00	\$3,800.00
	ii) South	100 %	L.S.	\$4,300.00	\$4,300.00
SUB-TOTAL - SECTION I - EXTERNAL WORKS					\$39,700.00

SECTION II - INTERNAL SITE WORKS

2.01	Sediment and Erosion Control	100%	L.S.	\$20,000.00	\$20,000.00
2.02	Grading	45,000	m ²	\$5.00	\$225,000.00
2.03	Topsoil from Stockpile	45,000	m ²	\$4.00	\$180,000.00
2.04	Hydraulic Seed and Mulch	45,000	m ²	\$0.50	\$22,500.00
SUB-TOTAL - SECTION II - INTERNAL SITE WORKS					\$447,500.00

SECTION III - LANDSCAPING

3.01	Topsoil (Imported) For Landscape Area (500 mm Depth)	2,250	m ²	\$10.00	\$22,500.00
3.02	Plantings	100%	L.S.	\$15,000.00	\$15,000.00
3.03	Trees	100%	L.S.	\$25,000.00	\$25,000.00
3.04	Mulch For Landscape Area	2,250	m ²	\$5.00	\$11,250.00
SUB-TOTAL - SECTION III - LANDSCAPING					\$73,750.00

SUMMARY

SUB-TOTAL - SECTION I - EXTERNAL WORKS					\$39,700.00
SUB-TOTAL - SECTION II - INTERNAL SITE WORKS					\$447,500.00
SUB-TOTAL - SECTION III - LANDSCAPING					\$73,750.00
TOTAL (EXCLUDING HST)					\$560,950.00

FORM "2"

Your Name & Address

Date of Issue:
Irrevocable Standby Letter of Credit

Reference No:

APPLICANT

BENEFICIARY:
THE CORPORATION OF THE TOWNSHIP OF
SOUTHGATE
185667 Grey Cty Rd 9
RR 1 Dundalk On N0C 1B0

AMOUNT:
MAXIMUM in Canadian Dollars:

We hereby authorize you to draw on (Bank & Address) for Account of (Applicant), up to an aggregate amount of (amount) (CAD) of lawful money of Canada available by Draft(s) on demand.

Pursuant to the request of our customer, (applicant), we, (bank) hereby establish and give to you an irrevocable standby letter of credit (the "credit") in your favour in the total amount of (amount) Canadian dollars pursuant to the agreement between the Township of Southgate and (applicant) dated (date) with respect to *the total cost of all development works and engineering costs* [wording to be amended to as necessary to identify purpose of the Letter of Credit i.e. as an assurance that required works will be completed in Article 10 or to act as a building deposit pursuant to Article 14]

This credit may be drawn on by you at any time and from time to time upon written demand for payment made upon us by you which demand we shall honour without enquiring whether you have a right as between yourself and our said customer to make such demand and without recognizing any claim of our said customer.

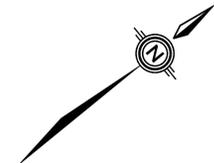
The amount of this credit shall be reduced from time to time as advised by notice in writing given to us from time to time by you.

This credit will continue up to the (date), subject to the following condition:

It is a condition of this credit that it shall be deemed to be automatically extended without amendment for one year from the present or any future expiry date hereof, unless at least 30 days prior to such expiry date, we notify you in writing by registered mail, that we elect not to consider this credit to be renewable for an additional period. Upon receipt by you of such notice, you may draw hereunder by means of your signed written demand for payment.

Partial Drawings are permitted.

Drafts must be shown and negotiated not later than the (date) or automatically extended date.



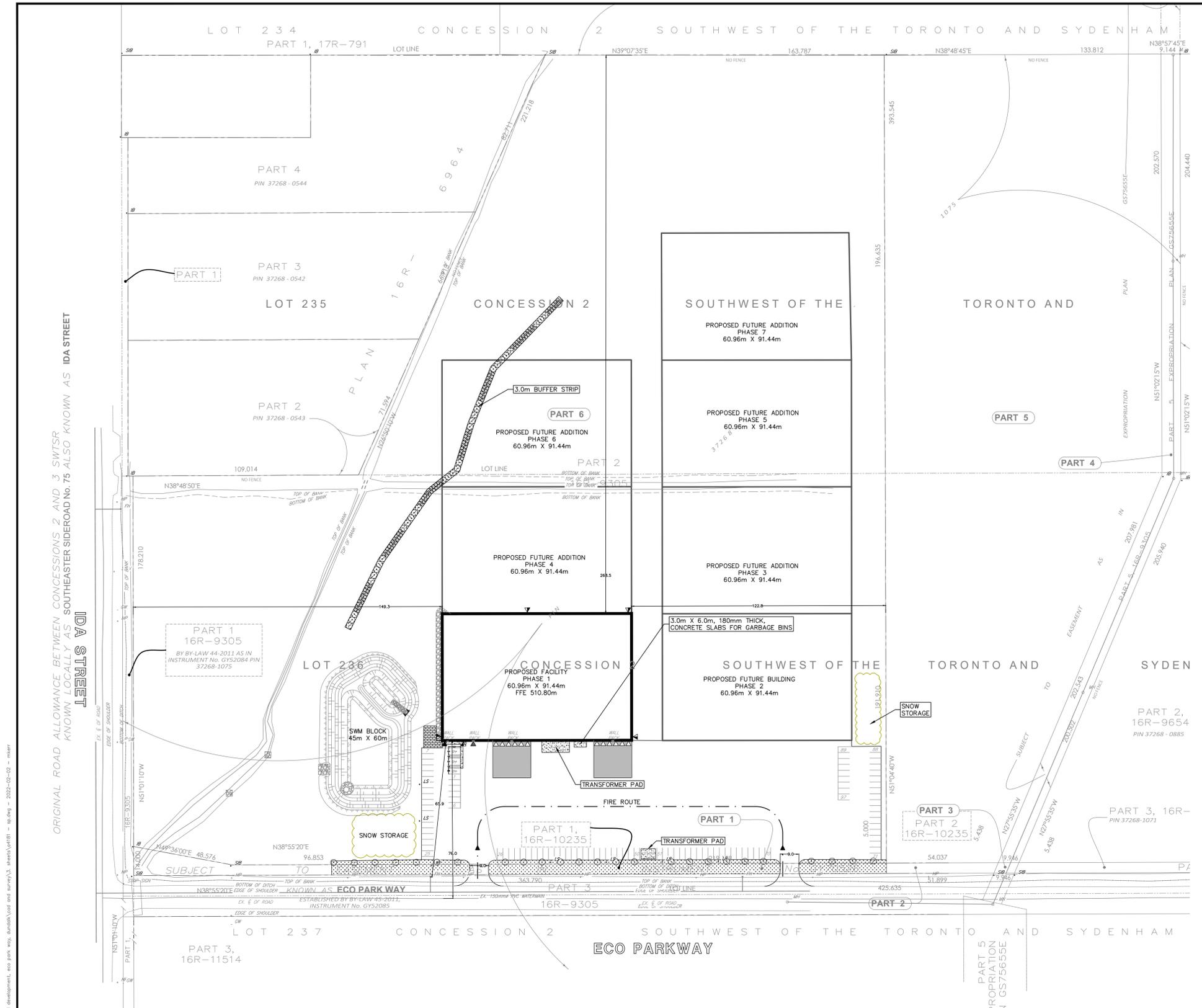
SITE PLAN INFORMATION:

- LANDS ARE ZONED M1 AND EP
- SITE PLAN FOR FIRST PHASE ONLY - HOWEVER THE ATTACHED PLAN SHOWS PROPOSED FUTURE PHASES
- PARKING - (5.75 X 2.75)
- INDUSTRIAL USE - 5 SPACES PLUS 1 PER 50 SQUARE METRES OF GROSS FLOOR AREA = 117 SQM = 8 SPACES
- WAREHOUSE USE - 1 PER 185 SQUARE METRE (1,991.3 SQ FEET) OF GROSS FLOOR AREA = 5458 SQM = 30 SPACES
- ADA WOULD REQUIRE 3 BARRIER FREE SPACES.

ZONING REQUIREMENTS		
M1 ZONE	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	30.0 m (DA ST.)	178.2 m
MINIMUM LOT AREA	1860 sq. m	112036 sq. m
MAXIMUM LOT COVERAGE	50%	5%
MINIMUM FRONT YARD	15.0 m (DA ST.)	149.3 m
MINIMUM INTERIOR SIDE YARD	7.5 m (NORTH BOUNDARY)	268.5 m
MINIMUM EXTERIOR SIDE YARD	11.0 m (ECO PARKWAY)	76.0 m
MINIMUM REAR YARD	7.5 m (WEST BOUNDARY)	122.8 m
MAXIMUM HEIGHT	11.0 m	11.0 m
PARKING SPACES	38	100(3 BARRIER FREE)
LOADING SPACES	3	12

LEGEND:

- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- PROPOSED FUTURE BUILDING
- SNOW STORAGE
- NEW BUILDING
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRE



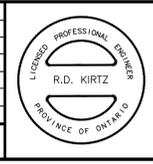
P:\projects\16r-9305\16r-9305.dwg - 2022-02-02 - m...
 P:\projects\16r-9305\16r-9305.dwg - 2022-02-02 - m...
 P:\projects\16r-9305\16r-9305.dwg - 2022-02-02 - m...



Drawing # 1 Dated March 2, 2022

DISCLAIMERS:
 1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/18	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.



CONSTRUCTION OF PROPOSED
INDUSTRIAL FACILITY
 ECO PARKWAY, DUNDALK ON, NOC 1B0
 (TOWNSHIP OF SOUTHGATE)

ICE RIVER SUSTAINABLE SOLUTIONS
 485387 30 SIDEROAD,
 SHELBURNE ONTARIO, L9V 3N5
SITE PLAN (PHASE 1)

PROJECT No
A4181A
 DESIGNED BY: M.R.K.
 CHECKED BY: P.F.Z.
 APPROVED BY: R.D.K.
 DATE: FEBRUARY 2022



SCALE:
 H:1:1000 H:1:2000
 V:1:50 V:1:100
 (8'x4") (17'x11")
 UNLESS OTHERWISE SHOWN
 DRAWING NUMBER **SP-01**

SCHEDULE				
PART	LOT	CONCESSION	PIN	AREA
1				0.203 Ha
2	PART OF LOT 236			0.026 Ha
3				0.005 Ha
4		CONCESSION 2 SWTSR	PART OF PIN 37268 - 1075	0.370 Ha
5	PART OF LOTS 235 AND 236			4.455 Ha
6				11.008 Ha

PARTS 1, 2 AND 3 SUBJECT TO EASEMENT AS IN INSTRUMENT No. GY70536
PARTS 4 AND 5 SUBJECT TO EASEMENT AS IN EXPROPRIATION PLAN No. GS75656

PLAN 16R-11609
 Received and deposited
 October 27th, 2021
 Vanessa Williams
 Representative for the
 Land Registrar for the
 Land Titles Division of
 Grey (No.16)

**PLAN OF SURVEY OF
 PART OF LOTS 235 AND 236
 CONCESSION 2 SOUTH WEST OF THE
 TORONTO AND SYDENHAM ROAD
 GEOGRAPHIC TOWNSHIP OF PROTON
 TOWNSHIP OF SOUTHGATE
 COUNTY OF GREY**

SCALE 1:750
 VAN HARTEN SURVEYING INC.
 THE INTENDED PLOT SIZE OF THIS PLAN IS 1220 mm
 IN WIDTH BY 914 mm IN HEIGHT WHEN PLOTTED AT
 A SCALE OF 1:750

- LEGEND:**
- DENOTES SURVEY MONUMENT SET
 - DENOTES SURVEY MONUMENT FOUND
 - SB DENOTES 025 X 025 X 1.20 STANDARD IRON BAR
 - IB DENOTES 015 X 015 X 0.60 IRON BAR
 - S5B DENOTES 025 X 025 X 0.60 SHORT STANDARD IRON BAR
 - RP DENOTES 015 DIA. X 0.07 ROUND IRON BAR WITH STAMPED WASHER
 - PS DENOTES 025 X 025 X 0.30 PLASTIC BAR
 - CC DENOTES CUT CROSS
 - WIT DENOTES WITNESS
 - OU DENOTES ORIGIN UNKNOWN
 - VH DENOTES VAN HARTEN SURVEYING INC., O.L.S.'S
 - P1 DENOTES PLAN 16R-9664
 - P2 DENOTES PLAN 16R-10235
 - P3 DENOTES PLAN 16R-9305
 - P4 DENOTES PLAN 16R-9654
 - 1381 DENOTES A.A. WELSH, O.L.S.
 - 1211 DENOTES P.J. WILLIAMS, O.L.S.
 - 1253 DENOTES D.J. CULLEN, O.L.S.
 - SOP DENOTES SET ON PRODUCTION

- BEARING AND COORDINATE NOTE:**
- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2011) ADJUSTMENT.
 - DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED CORRECTION SCALE FACTOR OF 0.99998.
 - COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2011) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

UTM COORDINATES (METRES)		
POINT ID	NORTHING	EASTING
A	4889160.52	548099.38
B	4889172.91	548068.75
C	4889202.01	548077.82

THESE COORDINATE VALUES COMPLY WITH SECTION 14(1) OF REG 216/10. THESE COORDINATES CANNOT, IN THEMSELVES, BE USED TO ESTABLISH THE CORNER OR BOUNDARIES SHOWN ON THIS PLAN.

BEARING COMPARISONS:
 FOR THE PURPOSES OF BEARING COMPARISONS, PREVIOUS SURVEYS HAVE BEEN NOTED TO UTM BEARINGS BY THE ANGLES SHOWN BELOW.

PLAN	ROTATION FOR NORTHEAST BEARINGS
P1	0°13'50"
P2	0°20'50"
P3, P4	0°26'35"

METRIC:
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED ON THE 8TH OF OCTOBER, 2021.

DATE: OCTOBER 8 2021. **MATT DE JAGER**
 ONTARIO LAND SURVEYOR

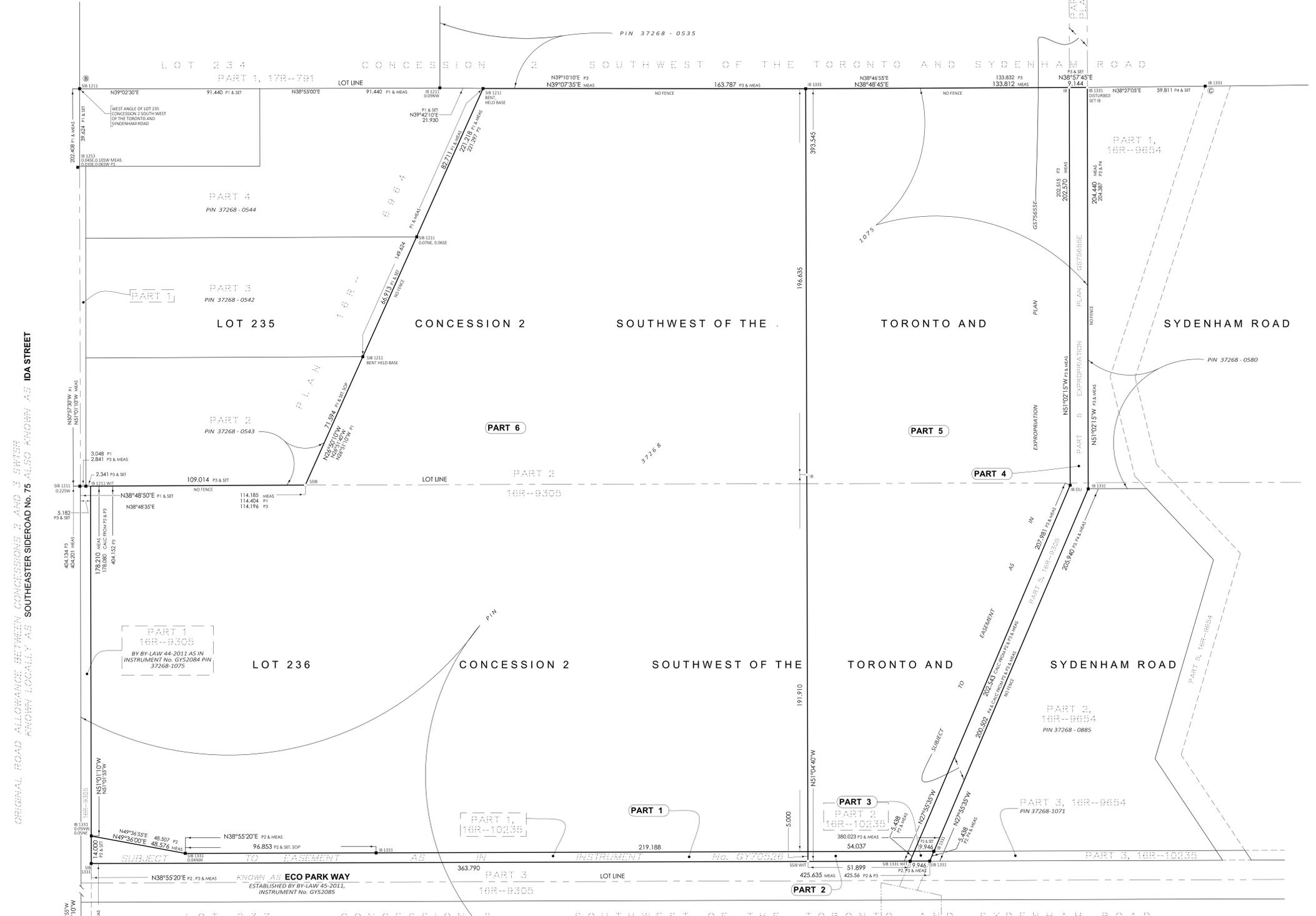
THIS PLAN OF SURVEY RELATES TO AOLS PLAN
 SUBMISSION FORM NUMBER 2178766

Van Harten
 SURVEYING INC.
 LAND SURVEYS CORP. AND ENGINEERS

Kitchener/Waterloo Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
--	----------------------------	---------------------------------

www.vanharten.com info@vanharten.com

Drawn by: MEJ CHECKED BY: MEJ PROJECT No: 30550-21
 DATE: 2021-11-24 3:35 PM
 L:\Production\2 SWTSR\ACAD\RP.LTS\235-240 SOUTHGATE\10155-213 UTM 1700.dwg

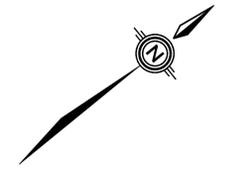


Clinton Stredwick

CLINTON STREDWICK
 REGISTERED PROFESSIONAL PLANNER
 R.P.P.

CLINTON G. STREDWICK
 PLANNERS & URBANISTS
 PROFESSIONAL PLANNERS
 1000 UNIVERSITY AVENUE
 TORONTO, ONTARIO M5G 1R7
 M.C.I.P. M.C.S.U.

Drawing #2 Dated March 2, 2022



Drawing #3 Dated March 2, 2022

GENERAL NOTES

1. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY WILSON FORD, 2017.
2. LEGAL SURVEY INFORMATION PROVIDED BY VAN HARTEN, NOVEMBER 22, 2021.
3. OVERALL SITE LAYOUT/CONFIGURATION PROVIDED BY ICE RIVER SUSTAINABLE SOLUTIONS, RECEIVED JANUARY 21, 2022.
4. ALL DIMENSIONS, ELEVATIONS, AND INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION COMMENCEMENT.
5. ALL CONSTRUCTION AND MATERIALS TO CONFORM TO TOWNSHIP, COUNTY AND PROVINCIAL STANDARDS.
6. MINIMUM 150mm OF UNBLENDED TOPSOIL AND SO2 SHALL BE PLACED WHERE HARD SURFACE IS NOT PROPOSED, SLOPES NOT TO EXCEED 3:1.
7. ALL PARKING LOT, TRUCK LOADING AND TRUCK YARD AREAS PAVEMENT DESIGN TO BE ROOMY OF GRANULAR 1, 150mm OF GRANULAR 1, 75mm HL4 OR HL8, AND 50mm OF HL3, AS RECOMMENDED BY CMT GEOTECHNICAL INVESTIGATION "PHASE 1" CONSTRUCTION OF NEW FACILITY FOR ICE RIVER SUSTAINABLE SOLUTIONS ECO PARKWAY DUNDALK ONTARIO CMT PROJECT 21-061101 DATED ON FEBRUARY 14, 2022. ALL BUILDING DOWNSPOUTS/ROOF LEADERS ARE TO BE ROUTED OVERLAND TO THE STORMWATER MANAGEMENT POND.
8. ALL SERVING SHALL BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH THE MUNICIPALITY, ONTARIO BUILDING CODE, AND APPROPRIATE PROVINCIAL STANDARDS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONSTRUCTION SEQUENCING PLAN TO THE TOWNSHIP OF SOUTHGATE PRIOR TO CONSTRUCTION.
10. GAS, COMMUNICATIONS AND HYDRO SERVICES ARE TO BE CONFIRMED AT TIME OF CONSTRUCTION.
11. TOWNSHIP IS TO BE NOTIFIED IN ADVANCE OF ANY WORK BEING CONDUCTED WITHIN THE ROAD ALLOWANCE.
12. SEE LP-01 FOR LANDSCAPING DETAILS.

STORMWATER NOTES:

1. ALL 375mm STORM SEWER PIPE OR SMALLER TO BE PVC SDR 35 UNLESS SPECIFIED OTHERWISE. ALL 450mm STORM SEWER PIPE OR LARGER TO BE CONCRETE CONFORMING TO CSA A587-11 STANDARDS.
2. ALL CULVERTS TO BE A MINIMUM 375mm HDPE BOSS 2000, 320 kPa STIFFNESS C/W ULTRA STAB 75 JOINT.
3. BEDDING FOR STORM SEWER PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. CATCH BASIN SHALL BE PRECAST CONCRETE AS PER OPSD 705.010 COMPLETE WITH FRAME AND GRATE AS PER OPSD 400.100.
5. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 701.010(1200mm), 701.010(1800mm) OR 701.010(2400mm), COMPLETE WITH FRAME AND GRATE/COVER AS PER OPSD 400.110(GRATE) OR 401.010(COVER).
6. THE OWNER IS RESPONSIBLE TO ENSURE STORMWATER MANAGEMENT FEATURES ARE OPERATING AND ADEQUATELY MAINTAINED.
7. SEE SWM-01 FOR STORMWATER MANAGEMENT FACILITY PLAN AND OUTLET STRUCTURE DETAILS.
8. DOWNSPOUTS FOR BUILDINGS TO OUTLET AT GRADE DIRECTED TOWARDS STORMWATER MANAGEMENT FACILITY.

SANITARY NOTES:

1. ALL SANITARY SEWER PIPE TO BE PVC 200mm SDR 35 UNLESS SPECIFIED OTHERWISE.
2. CONNECTIONS FOR SANITARY SEWER TO BE KOR-N-SEAL FOR MANHOLES AND PREFAB TEES FOR PVC PIPE.
3. BEDDING FOR SANITARY SEWER PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 705.010 COMPLETE WITH FRAME AND COVER AS PER OPSD 400.100.
5. MAINTENANCE HOLES SHALL BE PRECAST CONCRETE AS PER OPSD 701.010(1200mm) COMPLETE WITH FRAME AND COVER AS PER OPSD 401.010(GRATE).
6. MAINTENANCE HOLES SHALL BE BENEATH AS PER OPSD 701.021.

WATERMAIN NOTES:

1. WATERMAIN PIPE TO BE MIN. 150mm Ø900 PVC CLASS 235 (DR 18), B 137.3 AND TRACER WIRE OR APPROVED EQUIVALENT.
2. MINIMUM COVER FOR MAINS AND SERVICE TO BE 2.0.
3. BEDDING FOR WATERMAIN PIPE AS PER OPSD 802.010, GRANULAR "A" BACKFILLED AND COMPACTED TO 95% S.P.D.
4. VALVE AND BOX TO BE MUELLER RESILIENT WEDGE GATE VALVE AWWA OR APPROVED EQUIVALENT.
5. CONNECTION TO MUNICIPAL WATERMAIN TO BE REVIEWED AND APPROVED BY TOWNSHIP WATER DEPARTMENT.

LIGHTING NOTES:

1. WALL MOUNTED LUMINAIRES TO BE PLACED AS SHOWN ON DRAWING.
2. EMERGENCY EXIT LIGHTS TO BE PLACED ABOVE ALL MAIN DOORS ON BUILDING.
3. LIGHT STANDARDS TO BE PLACED AS SHOWN ON DRAWING, LUMINAIRES TO BE INSTALLED WITH HOUSE SIDE SHIELD.

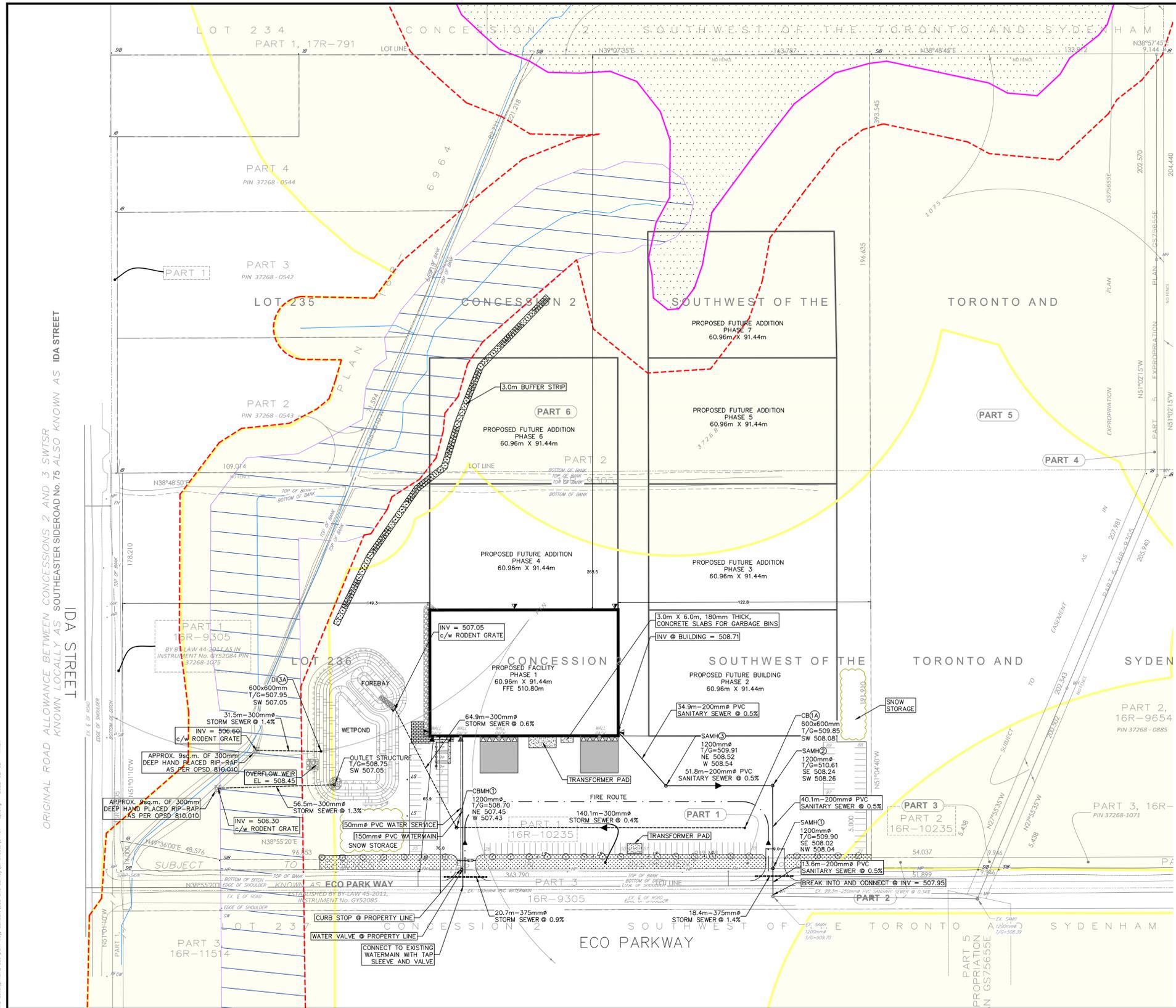
SITE PLAN INFORMATION:

1. LANDS ARE ZONED M1 AND EP
2. SITE PLAN FOR FIRST PHASE ONLY - HOWEVER THE ATTACHED PLAN SHOWS PROPOSED FUTURE PHASES.
3. PARKING - (5.75 X 2.75)
4. INDUSTRIAL USE - 5 SPACES PLUS 1 PER 50 SQUARE METRES OF GROSS FLOOR AREA + 117 SQM = 8 SPACES
5. WAREHOUSE USE - 1 PER 185 SQUARE METRE (1,991.3 SQ. FEET) OF GROSS FLOOR AREA + 5496 SQM = 30 SPACES
6. ADDA WOULD REQUIRE 3 BARRIER FREE SPACES.

ZONING REQUIREMENTS		
M1 ZONE	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	30.0 m (10A ST.)	178.2 m
MINIMUM LOT AREA	1860 sq. m	112036 sq. m
MAXIMUM LOT COVERAGE	50%	5%
MINIMUM FRONT YARD	15.0 m (10A ST.)	149.3 m
MINIMUM INTERIOR SIDE YARD	7.5 m (NORTH BOUNDARY)	268.5 m
MINIMUM EXTERIOR SIDE YARD	11.0 m (ECO PARKWAY)	76.0 m
MINIMUM REAR YARD	7.5 m (WEST BOUNDARY)	122.8 m
MAXIMUM HEIGHT	11.0 m	11.0 m
PARKING SPACES	38	100(3 BARRIER FREE)
LOADING SPACES	3	12

LEGEND:

- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- REGULATED WATERCOURSE (GRCA)
- ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)
- PROPOSED BUILDING
- ESTIMATED FLOODPLAIN (GRCA)
- REGULATION LIMIT (GRCA)
- SNOW STORAGE
- NEW BUILDING
- WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRES



DISCLAIMERS:
 1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.

R.D. KIRTZ
 PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO

CONSTRUCTION OF PROPOSED INDUSTRIAL FACILITY
 ECO PARKWAY, DUNDALK ON, NOC 1B0
 (TOWNSHIP OF SOUTHGATE)

ICE RIVER SUSTAINABLE SOLUTIONS
 485387 30 SIDEROAD,
 SHELburnE ONTARIO, L9V 3N5
SITE SERVICING PLAN
 (PHASE 1)

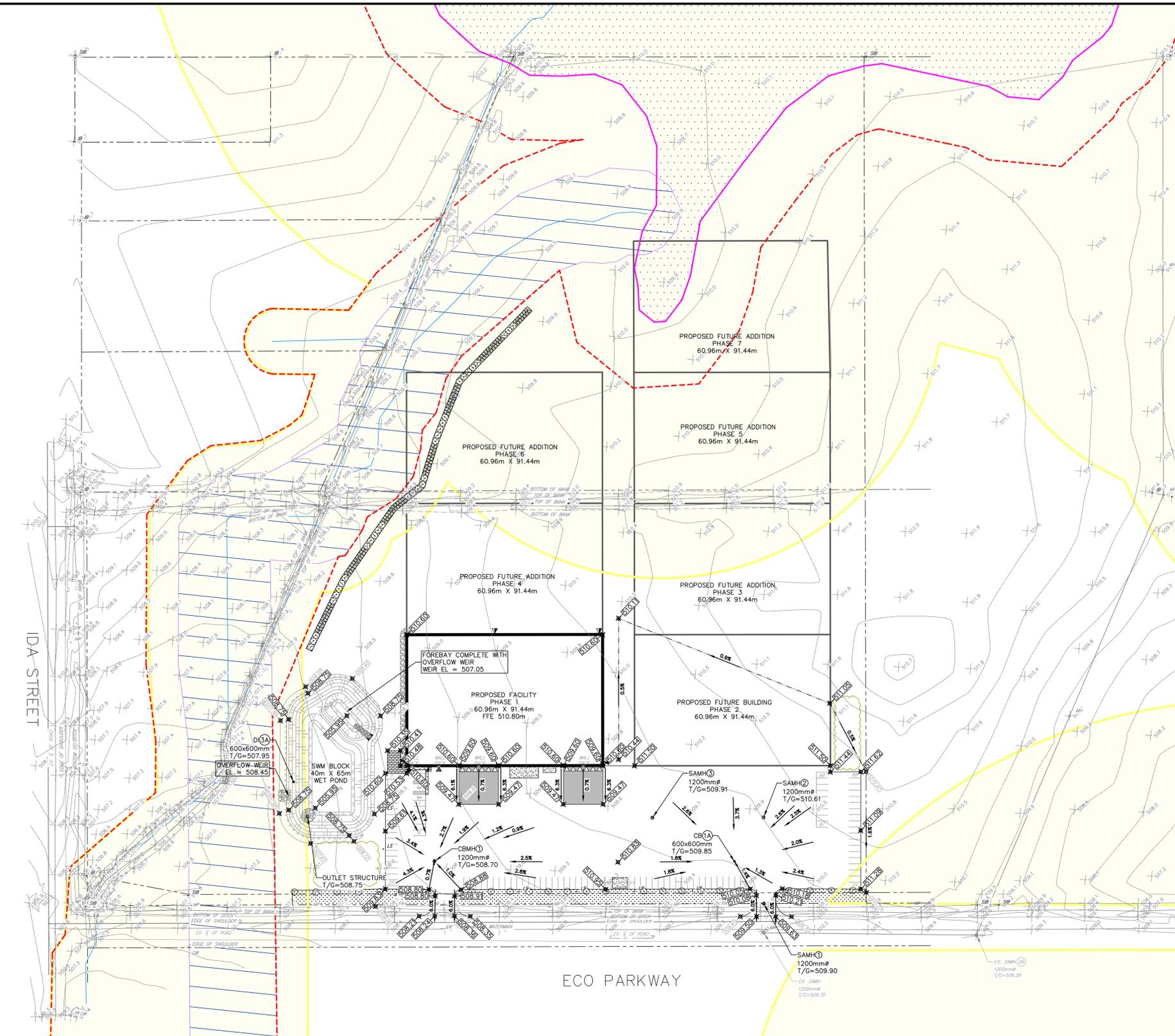
PROJECT No:
A4181A
 DESIGNED BY: M.R.K.
 CHECKED BY: P.F.Z.
 APPROVED BY: R.D.K.
 DATE: FEBRUARY 2022

TRITON ENGINEERING SERVICES LIMITED
 Consulting Engineers
 SCALE:
 H:1:1000 H:1:2000
 V:1:50 V:1:100
 (8/24) (11/11)
 UNLESS OTHERWISE SHOWN
DRAWING NUMBER SS-01

ARCH full bleed D (36.00 x 24.00 inches)



Drawing #4 Dated March 2, 2022



GENERAL NOTES

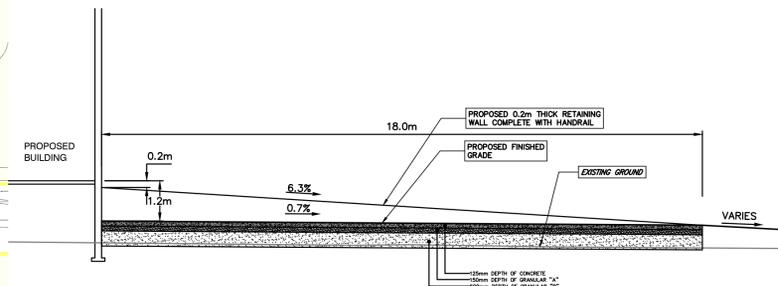
1. TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY WILSON FORD, 2017.
2. LEGAL SURVEY INFORMATION PROVIDED BY VAN HARTEN, NOVEMBER 22, 2021.
3. OVERALL SITE LAYOUT/CONFIGURATION PROVIDED BY ICE RIVER SUSTAINABLE SOLUTIONS, RECEIVED JANUARY 21, 2022.
4. ALL DIMENSIONS, ELEVATIONS, AND INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION COMMENCEMENT.
5. ALL CONSTRUCTION AND MATERIALS TO CONFORM TO TOWNSHIP, COUNTY AND PROVINCIAL STANDARDS.
6. MINIMUM 150mm OF IMPORTED TOPSOIL AND SSD SHALL BE PLACED WHERE HARD SURFACE IS NOT PROPOSED, SLOPES NOT TO EXCEED 3:1.
7. ALL PARKING LOT, TRUCK LOADING AND TRUCK YARD AREAS PAVEMENT DESIGN TO BE 800mm OF GRANULAR "E", 150mm OF GRANULAR "A", 75mm H.L. OR H.B. AND 50mm OF H.L.3 AS RECOMMENDED BY CMT GEOTECHNICAL INVESTIGATION "PHASE 1 CONSTRUCTION OF NEW FACILITY FOR ICE RIVER SUSTAINABLE SOLUTIONS ECO PARKWAY DUNDALK ONTARIO" CMT PROJECT 21-061.R01 DATED ON FEBRUARY 14, 2022.
8. ALL BUILDING DOWNSPOUTS/ROOF LEADERS ARE TO BE ROUTED OVERLAND TO THE STORMWATER MANAGEMENT POND.
9. ALL SERVING SHALL BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH THE MUNICIPALITY, ONTARIO BUILDING CODE AND APPROPRIATE PROVINCIAL STANDARDS.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONSTRUCTION SEQUENCING PLAN TO THE TOWNSHIP OF SOUTHGATE PRIOR TO CONSTRUCTION.
11. GAS, COMMUNICATIONS AND HYDRO SERVICES ARE TO BE CONFIRMED AT TIME OF CONSTRUCTION.
12. TOWNSHIP IS TO BE NOTIFIED IN ADVANCE OF ANY WORK BEING CONDUCTED WITHIN THE ROAD ALLOWANCE.
13. SEE LP-01 FOR LANDSCAPING DETAILS.
14. SEE SWM-01 FOR STORMWATER MANAGEMENT FACILITY DETAILS.

LEGEND:

- 125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"
- REGULATED WATERCOURSE (GRCA)
- ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)
- PROPOSED BUILDING
- ESTIMATED FLOODPLAIN (GRCA)
- REGULATION LIMIT (GRCA)
- SNOW STORAGE
- NEW BUILDING
- WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)
- NEW CONCRETE PAD
- CLEAR STONE
- LANDSCAPED AREA
- PATIO AREA
- PROPERTY LINE
- PROPOSED SWALE
- MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
- EXIT MAN DOOR
- O/H DRIVE-IN DOOR
- O/H LOADING DOCK DOOR
- NEW LIGHT STANDARD
- WALL MOUNTED LUMINAIRES

EROSION & SEDIMENT CONTROL NOTES:

1. PRIOR TO SITE CONSTRUCTION THE CONTRACTOR SHALL ENSURE THAT EROSION CONTROL MEASURES HAVE BEEN CONSTRUCTED AND INSTALLED TO THE SATISFACTION OF THE TOWNSHIP.
2. DURING CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL ADJACENT ROADS ARE KEPT CLEAR OF ALL MUD FROM VEHICULAR TRACKING ETC. TO AND FROM THE CONSTRUCTION SITE.
3. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM MANHOLES, CATCH BASINS, DITCHES, SWALES AND WATERCOURSES. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES.
4. THE CONTRACTOR IS TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES. ALL EROSION CONTROL STRUCTURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN STABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE GROUND COVER.



Typical Loading Dock Section
N.T.S.

DISCLAIMERS:
1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.



CONSTRUCTION OF PROPOSED INDUSTRIAL FACILITY
ECO PARKWAY, DUNDALK ON, NOC 1B0
(TOWNSHIP OF SOUTHGATE)

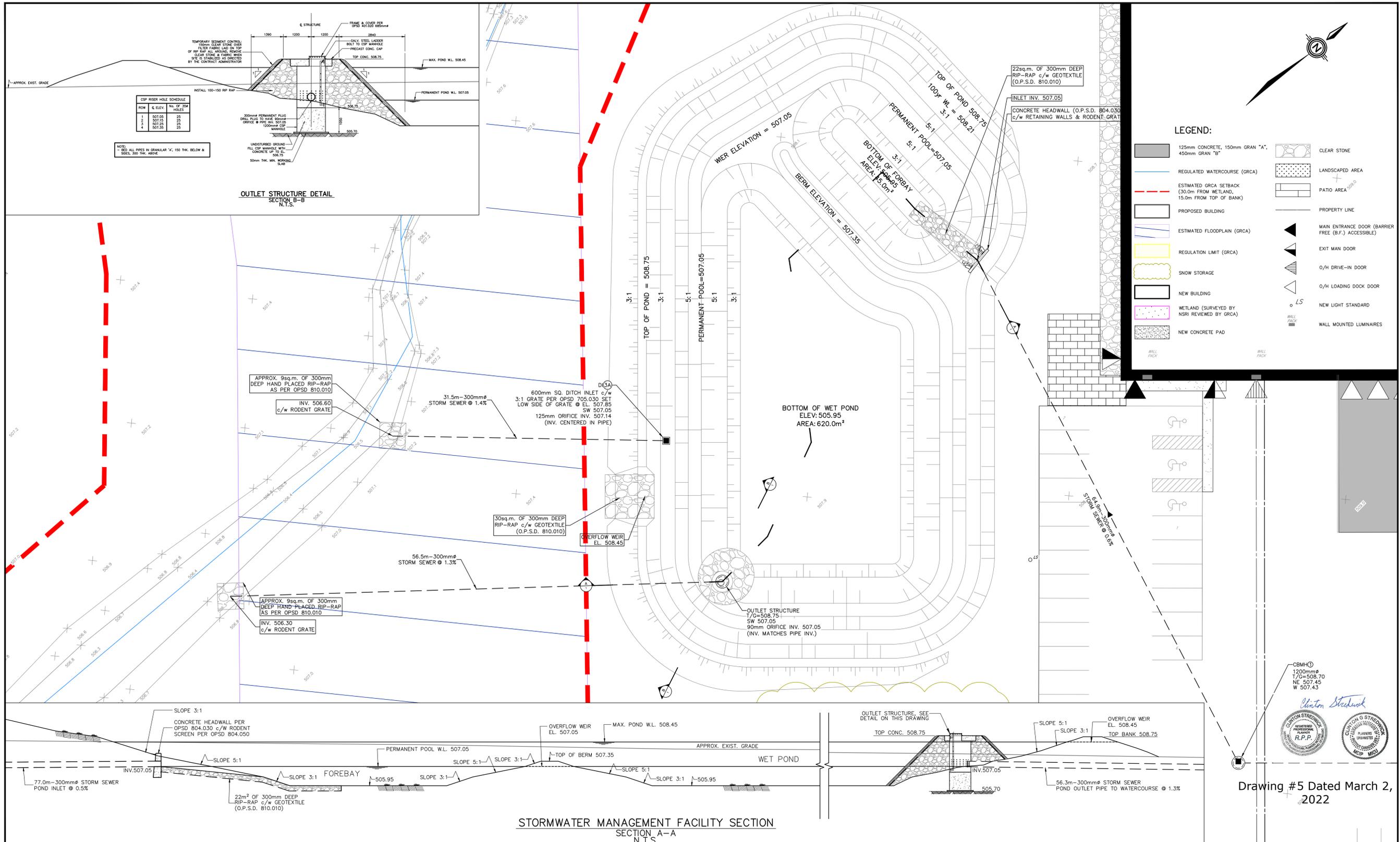
ICE RIVER SUSTAINABLE SOLUTIONS
485387 30 SIDEROAD,
SHELBURNE ONTARIO, L9V 3N7
**SITE GRADING PLAN
(PHASE 1)**

PROJECT No	A4181A
DESIGNED BY:	M.R.K.
CHECKED BY:	P.F.Z.
APPROVED BY:	R.D.K.
DATE:	FEBRUARY 2022



SCALE:
H: 1:1000 H: 1:2000
V: 1:50 V: 1:100
(06/24) (17/117)
UNLESS OTHERWISE SHOWN
DRAWING NUMBER SG-01

ARCH full bleed D (36.00 x 24.00 inches)



CIP RISER HOLE SCHEDULE

ROW	E. ELEV.	NO. OF HOLES
1	507.05	25
2	507.15	25
3	507.25	25
4	507.35	25

OUTLET STRUCTURE DETAIL
SECTION B-B
N.T.S.

STORMWATER MANAGEMENT FACILITY SECTION
SECTION A-A
N.T.S.

LEGEND:

	125mm CONCRETE, 150mm GRAN "A", 450mm GRAN "B"		CLEAR STONE
	REGULATED WATERCOURSE (GRCA)		LANDSCAPED AREA
	ESTIMATED GRCA SETBACK (30.0m FROM WETLAND, 15.0m FROM TOP OF BANK)		PATIO AREA
	PROPOSED BUILDING		PROPERTY LINE
	ESTIMATED FLOODPLAIN (GRCA)		MAIN ENTRANCE DOOR (BARRIER FREE (B.F.) ACCESSIBLE)
	REGULATION LIMIT (GRCA)		EXIT MAN DOOR
	SNOW STORAGE		O/H DRIVE-IN DOOR
	NEW BUILDING		O/H LOADING DOCK DOOR
	WETLAND (SURVEYED BY NSRI REVIEWED BY GRCA)		NEW LIGHT STANDARD
	NEW CONCRETE PAD		WALL MOUNTED LUMINAIRES

Drawing #5 Dated March 2, 2022

DISCLAIMERS:
1. ALL EXISTING ELEVATIONS & DIMENSIONS TO BE CONFIRMED ON SITE. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY AND SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR SHALL PROVE THE LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION AGAINST DAMAGE.

No	DATE	REVISION	INITIAL
1	2022/02/17	ISSUED FOR SITE PLAN APPROVAL	P.F.Z.



CONSTRUCTION OF PROPOSED INDUSTRIAL FACILITY
ECO PARKWAY, DUNDALK ON, NOC 1B0 (TOWNSHIP OF SOUTHGATE)

ICE RIVER SUSTAINABLE SOLUTIONS
485387 30 SIDEROAD, SHELBURNE ONTARIO, L9V 3N5
STORM WATER MANAGEMENT FACILITY PLAN

PROJECT No: A4181
DESIGNED BY: M.R.K.
CHECKED BY: P.F.Z.
APPROVED BY: R.D.K.
DATE: FEBRUARY 2022



SCALE:
H: 1:250 H: 1:500
V: 1:50 V: 1:100
(8/5247) (17/1117)
UNLESS OTHERWISE SHOWN
DRAWING NUMBER **SWM 01**

ARCH full bleed D (36.00 x 24.00 inches)



Certificate of Design and Manufacturing Conformance

This Certificate is to affirm that all components of the steel building system described below, to be supplied by the named Manufacturer certified in accordance with CSA A660, have been or will be designed and fabricated in accordance with the following Standards to carry the loads and load combinations specified.

1. DESCRIPTION

Manufacturer's Name and Address: **Steelway Building Systems, Springwater Rd., Aylmer, ON, Canada**
 Manufacturer's Certificate No. under CSA A660: **STEEL0**
 Customer Order Number: **76198**
 Building Type and Size: **Allsteel [300'-0"Wx200'-0"Lx32'-0"/32'-0"H]** (ft)
 Intended Use and Occupancy: **Industrial**
 Importance Category (OBC, Sentence 4.1.2.1.(3)): **II - Normal**
 Site Location: **Dundalk, Ontario, Canada**
 Applicable Building Code: **OBC 2012-88/19**
 Builder's Name and Address: **Global Steel Buildings Canada, 95 Mural Street, 6th Floor, Richmond Hill, Ontario**
 Owner's Name and Address: **Green Lid Dundalk, Dundalk, Ontario**

Engineer's Initials *

CL

2. DESIGN STANDARDS

Ontario Building Code, 2012-88/19, Part 4: Structural Design
 CAN/CSA-S16-14, Limit States Design of Steel Structures
 CAN/CSA-S136-16, North American Specification for the Design of Cold-Formed Steel Structural Members
 Other (specify):

CL

3. MANUFACTURING STANDARDS

- (a) Fabrication has been or will be in accordance with CAN/CSA-S16 and CAN/CSA-S136, as applicable.
- (b) Welding has been or will be performed in accordance with CSA W59 and CAN/CSA-S136, as applicable.
- (c) The Manufacturer has been certified in accordance with CSA W47.1, for Division 1 or Division 2, and/or CSA W55.3, if applicable.
- (d) Welders have been qualified in accordance with CSA-W47.1.

CL

4. PURLIN STABILITY

Purlin braces are provided in accordance with CAN/CSA-S136, Clause D3 and Appendix B, Clause D3.2.2. In particular, for a standing seam roof supported on movable clips, braces providing lateral support to both top and bottom purlin flange have been or will be provided. The number of rows is determined by analysis but in no case is less than 1 for spans up to 7m inclusive or less than 2 for spans greater than 7m.

5. LOADS

(a) Snow, Ice, and Rain Load

1-in-50 year ground snow load, S_s , **3.2** (kPa)
 1-in-50 year associated rain load, S_r , **0.4** (kPa)
 Wind exposure factor, C_w , **1.00**
 Importance factor, I_s , **1.00**
 Roof snow load, S , **3.19** (kPa)
 Drift load considered (*OBC* Sub-section 4.1.6.2.8) refer to drawing of specific building
 Specified rain load (*OBC*, Article 4.1.6.4) **108** (mm).

CL

(b) Full and Partial Snow Load

- (i) Applied on any one and any two adjacent spans of continuous purlins
- (ii) Applied on any one and any two adjacent spans of modular rigid frames with continuous roof beams
- (iii) Applied as described for the building geometry in *OBC*, Part 4, and in the User's Guide - NBC 2015 Structural Commentaries (Part 4), *Commentary G: Snow Loads*

CL

(c) Wind Load

1-in-50 year reference velocity pressure **0.42** (kPa)
 Importance factor, I_w , **1.00**
 Wind Topographic factor, C_t , **1.0**

CL

(d) Wind Load Application

- (i) Applied as per *OBC*, Part 4, Section 4.1.7
- (ii) Pressure coefficients as per User's Guide – NBC 2015 Structural Commentaries (Part 4 of Division B), *Commentary I: Wind Loads*, Figures 4.1.7.6 A-H, A-4.1.7.5
- (iii) Building internal pressure Category **3** per User's Guide – NBC 2015 Structural Commentaries (Part 4 of Division B), *Commentary I: Wind Loads*

CL

(e) Crane Loads (where applicable)

Type: (top running)(under-running)(jib)
 Capacity: (tonnes)
 Wheel base: (m)
 Maximum static, vertical wheel load: (kN)
 Vertical impact factor: %
 Lateral factor: % Lateral wheel load: (kN)
 Longitudinal factor: % Maximum longitudinal load: (kN/side)

N/A

(f) Mezzanine Live Load: (kPa)

N/A

(g) Seismic Load:

(Applied as per *OBC*, Part 4, Sub-section 4.1.8 $S_a(0.2)$ **0.097**, $S_a(0.5)$ **0.069**, $S_a(1.0)$ **0.043**, $S_a(2.0)$ **0.022**, $S_a(5.0)$ **0.0056**, $S_a(10.0)$ **0.0024**, F_a **1.24**, F_v **1.55**, I_E **1.00**)

CL

(h) Other Live Loads

(Specify): (kPa)

N/A

(i) Dead Loads

Dead load of building components is incorporated in the design
 Collateral load (mechanical, electrical, ceiling, sprinklers, etc.): **0.24** (kPa)
 Mezzanine: (kPa)
 Other (specify): ()

CL

(j) Load Combinations

Applied in accordance with *OBC*, Part 4, Section 4.1.

CL

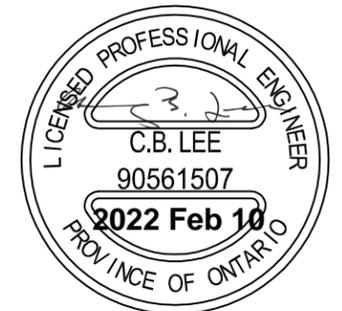
6. GENERAL REVIEW DURING CONSTRUCTION

The Manufacturer does not provide general review during construction for regulatory purposes.

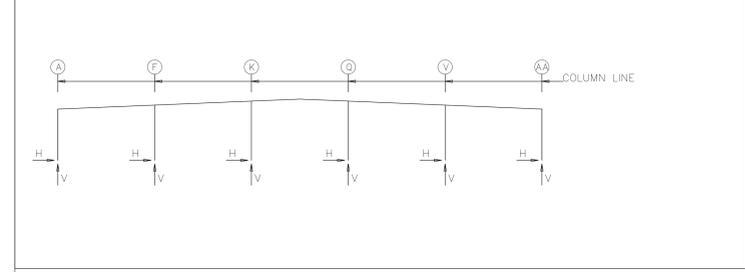
7. CERTIFICATION BY ENGINEER

I **Chung Lee**, a Professional Engineer registered or licensed to practice in the Province or Territory of **Ontario**, hereby certify that I have reviewed the design and manufacturing process for the steel building system described. I certify that the foregoing statements, initialed by me, are true.

Name: **Chung Lee, P.Eng**
 Title: **Scheduling & Quality Standards Leader**
 Affiliation: **Steelway Building Systems**
 Date: **Feb 09, 2022**



* Initial each true statement. Mark N/A if statement does not apply.



- DESIGN PARAMETERS:
1. A. CLIMATIC DESIGN DATA BASED ON THE FOLLOWING
Design Code = OBC 2012 88-19
Province = Ontario
Location* = Dundalk
Snow Load Ss (1/50) = 66.88 psf
Rain Load Sr (1/50) = 8.36 psf
Wind Pressure q (1/50) = 8.78 psf
Seismic Data:
Sa(0.2) = 0.097
Sa(0.5) = 0.069
Sa(1.0) = 0.043
Sa(2.0) = 0.022
Sa(5.0) = 0.0056
Sa(10.0) = 0.0024
PGA = 0.0570
*Actual Site Location May Differ.
B. Building Importance Category = II - Normal
C. SEISMIC INFORMATION
Ie = 1.00
= Regular
Structural Configuration = Regular
Fundamental Lateral Period Ta = 0.4691 seconds (Moment Frames)
Fundamental Lateral Period Ta = 0.2438 seconds (Braced Frames)
Site Class = D
Acceleration Coefficient Fa = 1.24
Velocity Coefficient Fv = 1.55
Seismic Hazard Index = 0.12028
Design Method = Equivalent Static Force Method
SFRS = Conventional Steel Construction of Moment-Resisting Frames
Rd = 1.5
Ro = 1.3
Restrictions = None
Steelway Building Systems confirms that the seismic force resisting system, diaphragms, and all connections within the SFRS have been designed in accordance with the 2012 Ontario Building Code as amended by regulation 88/19, Part 4, Clause 4.1.8 and CSA S16-14, Clause 27.11 for Conventional Construction.
D. ROOF
Roof Dead Load = 4.0 psf (Excluding Self-Weight of Rigid Frames)
Roof Live Load = 20.90 psf
Collateral Load = 5 psf
Roof Live Load = 20.90 psf
Importance Snow (ULS) Is = 1.00
Importance Snow (SLS) Is = 0.9
Exposure Factor Cw = 1.00
Slope Factor Cs = 1.00
Basic Roof Snow Load Factor Cb = 0.8716
Shape Factor Ca = 1.0000
Specified Roof Snow Load S = |Ss(CbCwCsCa)+Sr| = 66.65 psf
E. WIND
Importance Wind (ULS) Iw = 1.00
Importance Wind (SLS) Iw = 0.75
Topographic Factor Ct = 1.0
Internal Pressure Category = 3
Exposure = 0
R = Rough Terrain >= 1.0km,
R1 = 0.75km rough
R2 = 0.50km rough
R3 = 0.25km rough
O = Open terrain

RIGID FRAME: BASIC COLUMN REACTIONS (UNFACTORED) (k)
Table with columns: Frame Line, Column Line, Dead, Collateral, Live, Snow, Wind Left1, Wind Right1, Wind Left2, Wind Right2, Seismic Left, Seismic Right. Rows include columns A through V.

BUILDING BRACING REACTIONS (UNFACTORED)
Table with columns: Wall Loc, Col Line, Reactions (k) for Wind and Seismic. Rows include L_EW, F_SW, R_EW, B_SW.

ENDWALL COLUMN: BASIC COLUMN REACTIONS (UNFACTORED) (k)
Table with columns: Frm Line, Col Line, Dead, Collat, Live, Snow, Wind Left1, Wind Right1, Wind Left2, Wind Right2, Wind Press, Wind Suct, Wind Long1, Wind Long2. Rows include columns A through Y.

Table with columns: Frm Line, Col Line, Seis Left, Seis Right, E1UNB_SL_L, E1UNB_SL_R. Rows include columns A through W.

Table with columns: Frm Line, Col Line, Dead, Wind Press, Wind Suct, Wind Long1, Wind Long2. Rows include columns A through W.

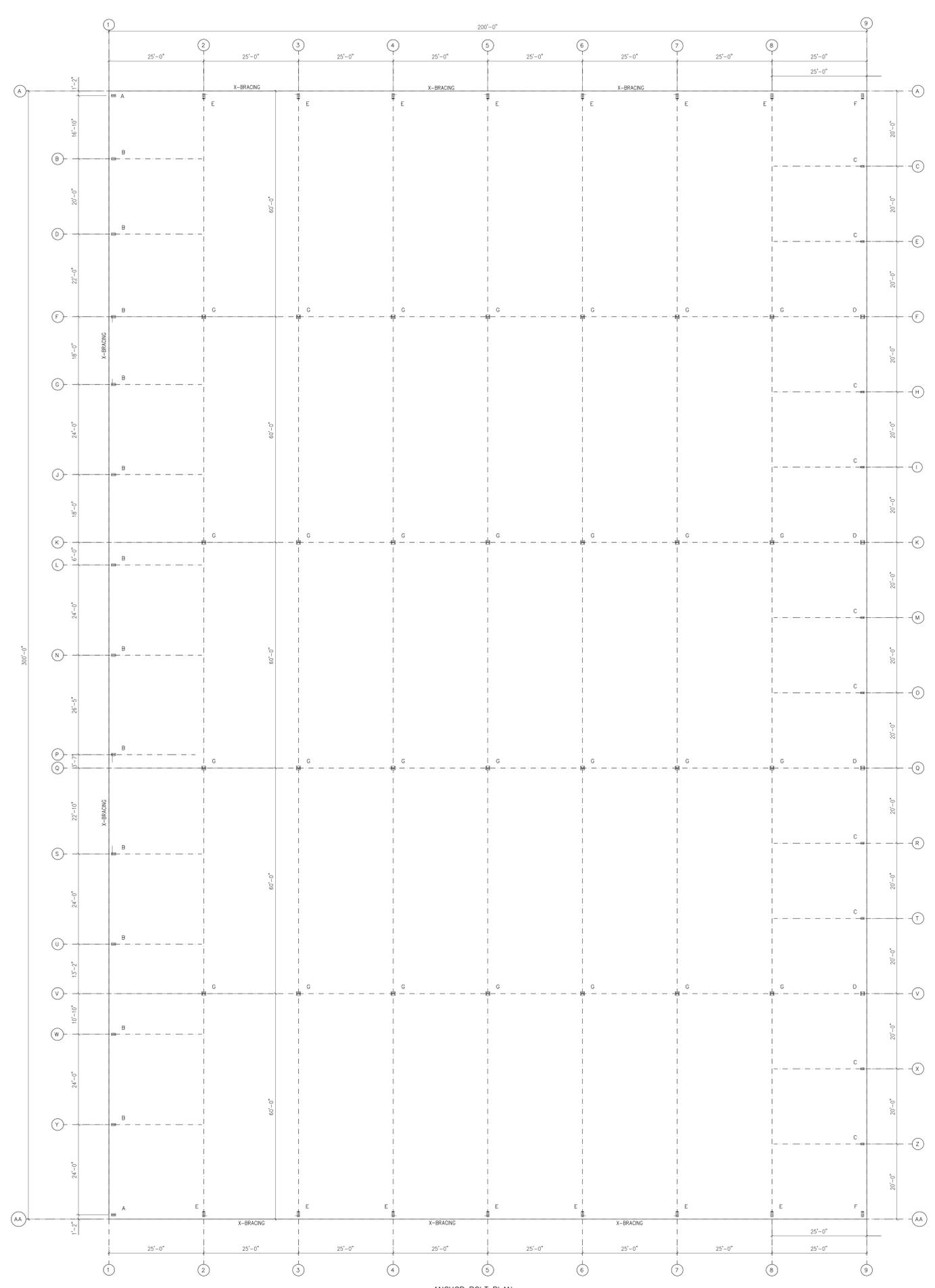
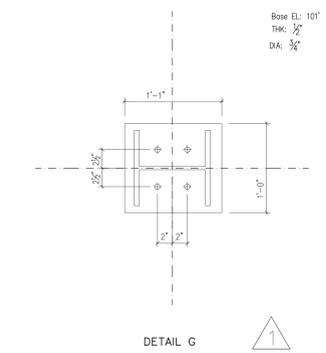
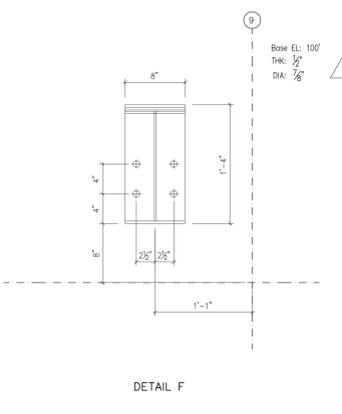
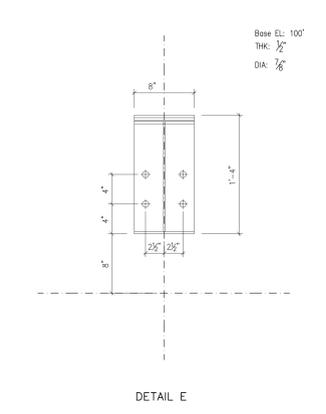
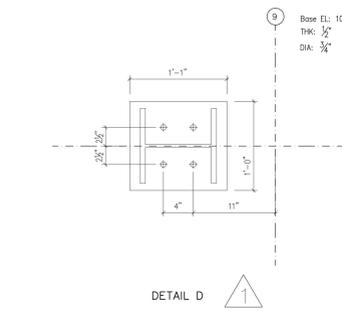
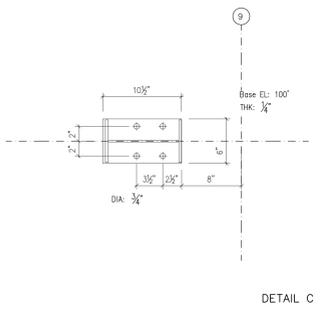
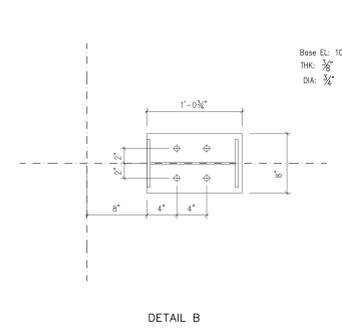
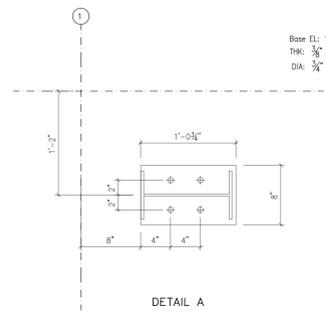
- GENERAL NOTES:
1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
2. REACTIONS ARE BASED ON THE ORDER DOCUMENTS AT THE TIME OF TRANSMITTAL. ANY CHANGES TO BUILDING LOADS OR DIMENSIONS MAY CHANGE THE REACTIONS. THE REACTIONS WILL BE SUPERCEDED AND VOIDED BY ANY FUTURE TRANSMITTAL.
3. THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATIONS. POSITIVE REACTIONS ARE AS SHOWN IN THE SKETCH. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
4. BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE 'M' POINTING AWAY FROM THE BRACED BAY. THE VERTICAL REACTION IS DOWNWARD. THE ENDWALL WIND LOAD REACTIONS INCLUDE REACTIONS FROM ENDWALL BRACING.
5. UNITS ARE KIPS/KN-FT FOR IMPERIAL UNITS OR KN/KN-M FOR METRIC UNITS.
6. FOUNDATION DESIGN AND CONSTRUCTION IS NOT THE RESPONSIBILITY OF STEELWAY BUILDING SYSTEMS.
7. UNFACTORED 'SERVICE' REACTIONS ARE PROVIDED FOR EACH LOAD CASE. IT IS THE RESPONSIBILITY OF THE FOUNDATION DESIGNER TO USE THESE REACTIONS IN CONJUNCTION WITH THE APPLICABLE LOAD COMBINATIONS, CODES AND STANDARDS FOR THE DESIGN OF THE FOUNDATION.
8. REFER TO ANCHOR PLAN & DETAILS FOR ANCHOR ROD DIAMETER, QUANTITY AND PLACEMENT. THESE ARE SUGGESTED MINIMUMS BASED ON CALCULATED REACTIONS AND FACTORED LOAD COMBINATIONS FOR THE BUILDING. FOUNDATION DESIGN MAY REQUIRE DIFFERENT ANCHOR LENGTHS & STYLE (HOOKED, WELDED PLATE, ETC.).
9. ALL APPLICABLE BUILDING CODE AND CSA CRANE CODE LOAD COMBINATIONS HAVE BEEN APPLIED TO THE STEELWAY STRUCTURE.
10. REFER TO C1 SHEET FOR ADDITIONAL INFORMATION ON DESIGN RESPONSIBILITIES.
11. ALL ANCHOR RODS SHALL BE MINIMUM 1/54 OR 3/8 OR EQUIVALENT.
12. COLUMN BASE PLATES ARE DESIGNED ASSUMING A MINIMUM SPECIFIED COMPRESSIVE STRENGTH (FC) OF CONCRETE OF 2,800 P.S.I. (20 MPa) AT 28 DAYS.
13. ROOF FRAME SEISMIC REACTIONS HAVE NOT BEEN AMPLIFIED BY R4, R5.
14. BRACING & PORTAL FRAME SEISMIC REACTIONS HAVE NOT BEEN AMPLIFIED BY R4, R5, UNLESS 'SEISMIC HAZARD INDEX' >= 0.45 (SEE SECTION C), IN WHICH CASE THEY ARE AMPLIFIED BY R4+1/3.
15. THE BASIC UNFACTORED COLUMN REACTIONS ARE BASED ON THE FOLLOWING LOADS:
BASIC LOAD DEFINITIONS:
DEAD - SELF-WEIGHT OF THE BUILDING SYSTEM, COLLAT/COLLATERAL - MECHANICAL, ELECTRICAL, CEILING, SPRINKLERS, ETC.
LIVE - ROOF LIVE LOAD, FLOOR - FLOOR LIVE LOAD DUE TO INTENDED USE & OCCUPANCY, SNOW - ROOF SNOW LOAD, EXTERNAL WIND PERPENDICULAR TO RIDGE, DRIFT - SNOW LOAD DUE TO SNOW ACCUMULATION, EXTERNAL WIND PARALLEL TO RIDGE, WIND_LEFT1 - FROM LEFT, COMBINED WITH INTERNAL PRESSURE, WIND_RIGHT1 - FROM RIGHT, COMBINED WITH INTERNAL PRESSURE, WIND_LEFT2 - FROM LEFT, COMBINED WITH INTERNAL SUCTION, EXTERNAL WIND PARALLEL TO RIDGE, WIND_RIGHT2 - FROM RIGHT, COMBINED WITH INTERNAL SUCTION, WIND_LONG1 - FROM RIGHT, COMBINED WITH INTERNAL PRESSURE, WIND_LONG2 - FROM LEFT, COMBINED WITH INTERNAL PRESSURE, WIND_P - EXTERNAL PRESSURE COMBINED WITH INTERNAL SUCTION, WIND_S - EXTERNAL SUCTION COMBINED WITH INTERNAL PRESSURE, SEISMIC_LEFT - SEISMIC FORCE PERPENDICULAR TO RIDGE & FROM LEFT, SEISMIC_RIGHT - SEISMIC FORCE PERPENDICULAR TO RIDGE & FROM RIGHT, SEISMIC_LONG - SEISMIC FORCE PARALLEL TO RIDGE, UNB_SL_L - FULL & PARTIAL SNOW LOAD, UNB_SL_R - FULL & PARTIAL SNOW LOAD, PAT_SL - PATTERNED SNOW LOAD (MULTI-SPAN FRAMES ONLY), CRANE - CRANE LIVE LOAD

MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

Table with columns: Rev, Date, By, Description. Rows include revisions for 02/09/2022 and 01/26/2022.

CLIENT: GLOBAL STEEL BUILDINGS
PROJECT: GREEN LID DUNDALK
PROJECT LOCATION: DUNDALK, ONTARIO
DRAWING NAME: REACTIONS
DRAWING No.: 76198-R1
DRAWN BY: KSK
CHECKED BY: C.B. LEE
REGISTERED PROFESSIONAL PLANNER
CLINTON STREDWICK
PLANNERS URBANISTS
MCP MCJ





GENERAL NOTES

1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
2. GRID REFERENCES IN DETAILS SHOW SPECIFIC LOCATIONS, REFER TO PLAN FOR ALL LOCATIONS.
3. BOLT GAUGES ARE SYMMETRICAL ABOUT COLUMN WEB UNLESS NOTED.
4. ALL ANCHOR DIMENSIONS ARE CENTER TO CENTER.
5. ANCHOR PLACEMENT MUST MEET CAN/CSA S16 TOLERANCES.
6. REFER TO CHART BELOW FOR ANCHOR PROJECTION REQUIREMENTS.

ANCHOR PROJECTION					
BP THK.	3/4"	7/8"	1"	1 1/4"	1 1/2"
1/4"	2"-3"	2"-3"	2"-3"	NA	NA
3/8"	2"-3"	2"-3"	2"-3"	NA	NA
1/2"	2"-3"	2"-3"	2"-3"	3"-4"	3"-4"
5/8"	2"-3"	2"-3"	2"-3"	3"-4"	3"-4"
3/4"	2"-3"	3"-4"	3"-4"	3"-4"	3"-4"
1"	3"-4"	3"-4"	3"-4"	3"-4"	3"-4"
1 1/4"	NA	NA	3"-4"	3"-4"	4"-5"
1 1/2"	NA	NA	NA	4"-5"	4"-5"

LEGEND:
Dia=Anchor Bolt Diameter
Thk=Base Plate Thickness

EXPANDABLE BAY FOR 25'-0"



Drawing # 10 Dated March 2, 2022

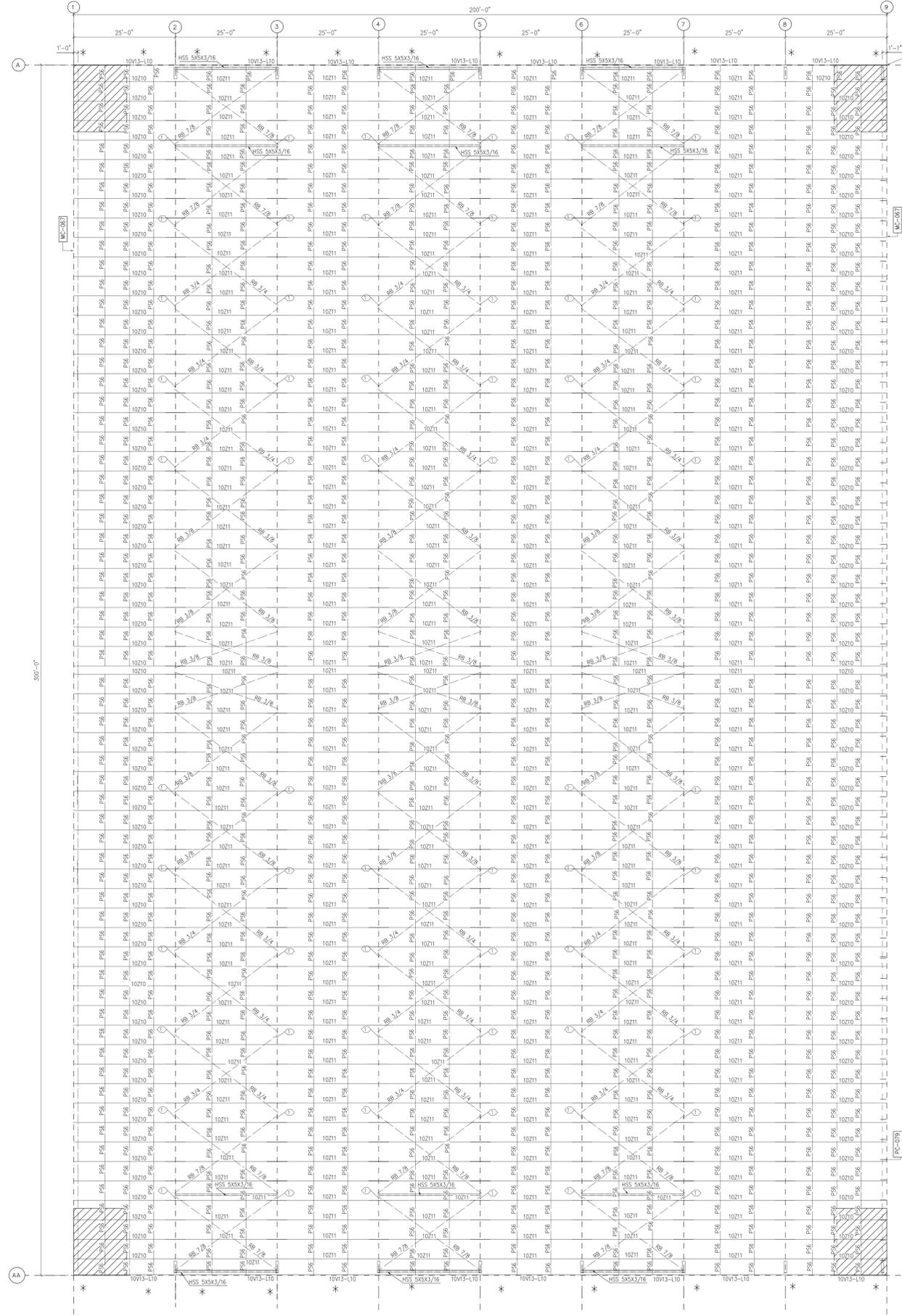
MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED ANCHOR PLAN & DETAILS
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev.	Date	By	Description
CLIENT GLOBAL STEEL BUILDINGS			
PROJECT GREEN LID DUNDALK			
PROJECT LOCATION DUNDALK, ONTARIO			
DRAWING NAME ANCHOR BOLT PLAN & DETAILS			
DRAWING No. 76198-S1			
DRAWN BY KSK		CHECKED BY	
DESIGNED BY C. LEE		DATE 2022 Feb 16	

ANCHOR BOLT PLAN
NOTE: UNDERSIDE OF ALL BASE PLATE 100'-0"(U.N.)



Drawing #11 Dated March 2, 2022



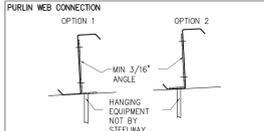
DIRECTOR NOTICE FLOATING CLIP R4149PL AT EACH 15'-0"X16'-2" CORNER ZONE

M2B (10)

50'-2 1/2" (10)
50'-2" (10)
49'-11" (10)
49'-11" (10)
50'-2" (10)
50'-2 1/2" (10)

SPECIAL BOLTS				
ROOF PLAN	QUANT	TYPE	SIZE	LENGTH
1	4	GR-8.2	1/2"	1 1/2"
2				

- GENERAL NOTES**
- INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 - STEELWAY ASSUMES ALL LOADS HAVE BEEN PROVIDED BY CUSTOMER. IF LOADS ARE NOT NOTED, STRUCTURE HAS NOT BEEN DESIGNED FOR THEM.
 - FIELD-CUTTING OF PURLINS FOR ROOF OPENING(S) NOT PERMITTED.
 - REINFORCING OF EXISTING BUILDING FOR SNOW ACCUMULATION IS NOT BY STEELWAY.
 - ALL CONNECTIONS TO PURLINS FOR ANY COMPONENT WITH A LOAD MUST BE CONNECTED TO THE WEB OF THE PURLIN, SEE DETAIL BELOW. PLEASE CONSULT WITH STEELWAY BUILDING SYSTEMS OR A PROFESSIONAL ENGINEER IF CONNECTION TO THE FLANGE OF THE PURLIN IS REQUIRED.



- RTL-24 SEAMING REQUIREMENTS:**
- THE ROOF PANELS ARE TO BE MECHANICALLY SEAMED AS FOLLOWS:
- ROLLLOC (HAND CRIMPING) MUST BE DONE AT EAVE, RIDGE AND EACH CLIP PRIOR TO MECHANICALLY SEAMING.
 - (X) TRIPLE LOC (MECHANICALLY SEAMED, SINGLE PASS)
 - (X) QUAD LOC (MECHANICALLY SEAMED, DOUBLE PASS)
 - ALL SAFETY REGULATIONS TO BE FOLLOWED WHEN OPERATING ELECTRICAL SEAMER.
 - STEELWAY IS NOT RESPONSIBLE FOR DAMAGE OF SEAMER DUE TO IMPROPER USE.

MANUFACTURING PROCEEDING

THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

Rev	Date	By	Description
1	02/09/2022	EB	REVISED ROOF FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION

CLIENT	GLOBAL STEEL BUILDINGS
PROJECT	GREEN LID DUNDALK
PROJECT LOCATION	DUNDALK, ONTARIO
DRAWING NAME	ROOF PLAN
DRAWING No.	76198-S2
DRAWN BY	KSK
CHECKED BY	



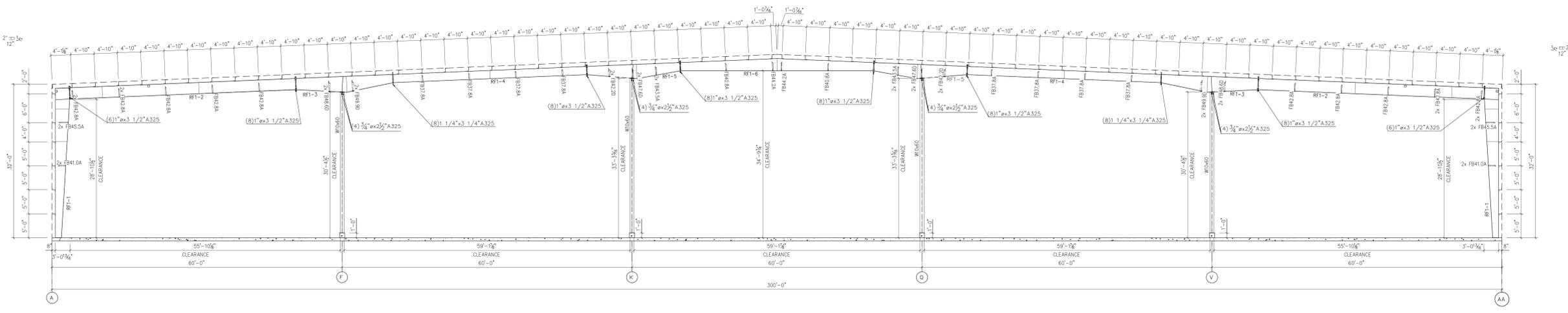
ROOF SHEETING
PANELS: 24 Ga. RTL GALVALUME

ROOF FRAMING PLAN
* - DENOTE DOWNSPOUTS LOCATIONS

- RTL-24 SEAMING REQUIREMENTS:**
- THE ROOF PANELS ARE TO BE MECHANICALLY SEAMED AS FOLLOWS:
- ROLLLOC (HAND CRIMPING) MUST BE DONE AT EAVE, RIDGE AND EACH CLIP PRIOR TO MECHANICALLY SEAMING.
 - (X) TRIPLE LOC (MECHANICALLY SEAMED, SINGLE PASS)
 - (X) QUAD LOC (MECHANICALLY SEAMED, DOUBLE PASS)
 - ALL SAFETY REGULATIONS TO BE FOLLOWED WHEN OPERATING ELECTRICAL SEAMER.
 - STEELWAY IS NOT RESPONSIBLE FOR DAMAGE OF SEAMER DUE TO IMPROPER USE.

MEMBER	Size	Depth	Web Plate	Outside Flange	Inside Flange	
Mark	W x Thk	Depth	W x Thk	Length	W x Thk	Length
RF1-1	14.5/28.7	0.250	240.0	8 x 5/8" x 375.3	8 x 1/2" x 346.5	
RF1-2	28.7/33.6	0.313	81.9	8 x 5/8" x 34.6		
RF1-3	27.5/27.5	0.250	240.0	8 x 5/8" x 559.9	8 x 5/8" x 559.9	
RF1-4	27.5/27.5	0.250	240.0			
RF1-5	20.0/20.0	0.250	240.0	8 x 3/4" x 125.4	8 x 3/4" x 116.0	
RF1-6	20.0/20.0	0.250	240.0	8 x 1/2" x 480.0	8 x 1/2" x 480.0	
RF1-7	20.0/20.0	0.250	240.0	8 x 3/4" x 230.0	8 x 3/4" x 123.0	
RF1-8	20.0/20.0	0.250	240.0	8 x 3/4" x 108.7	8 x 3/4" x 108.7	
RF1-9	20.0/20.0	0.250	239.8	8 x 1/2" x 240.0	8 x 1/2" x 477.8	
RF1-10	20.0/20.0	0.250	239.8	8 x 1/2" x 240.0		

- GENERAL NOTES**
- INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 - MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.
 - FLANGE BRACES:
FBxxk-xx=length(in)
A = L2X13SA
D = L3X11GA
C = L3X8
 - RIGID FRAME LABELS:
RF12 ASSEMBLY MARK NUMBER
RF1-2 REFER TO MARK IN MEMBER TABLE



RIGID FRAME CROSS SECTION: FRAME LINE 2 3 4 5 6 7 & 8

MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

Rev.	Date	By	Description
1	02/09/2022	EB	REVISED RIGID FRAME
0	01/26/2022	EB	ISSUED FOR INFORMATION

CLIENT
GLOBAL STEEL BUILDINGS

PROJECT
GREEN LID DUNDALK

PROJECT LOCATION
DUNDALK, ONTARIO



DRAWING NAME
FRAME CROSS SECTION

DRAWING No.
76198-S3

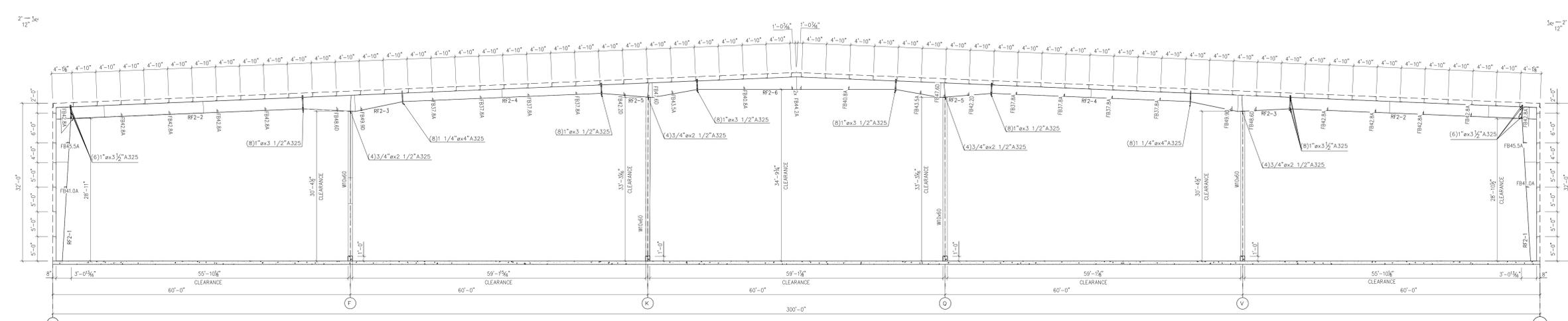
DRAWN BY KSK CHECKED BY

Drawing # 12 Dated March 2, 2022



Mark	Web Plate	Web Flange	Web Flange	Web Flange
RF2-1	14.5/28.7	0.250	240.0	8 x 5/16" x 373.1
RF2-2	25.7/27.3	0.250	134.5	8 x 5/8" x 34.6
RF2-3	27.5/27.3	0.250	79.9	8 x 5/8" x 559.9
RF2-4	27.5/27.3	0.250	240.0	
RF2-5	27.5/27.3	0.250	240.0	
RF2-6	27.5/27.3	0.250	240.0	
RF2-7	27.5/27.3	0.250	240.0	
RF2-8	27.5/27.3	0.250	240.0	
RF2-9	27.5/27.3	0.250	240.0	
RF2-10	27.5/27.3	0.250	240.0	
RF2-11	27.5/27.3	0.250	240.0	
RF2-12	27.5/27.3	0.250	240.0	
RF2-13	27.5/27.3	0.250	240.0	
RF2-14	27.5/27.3	0.250	240.0	
RF2-15	27.5/27.3	0.250	240.0	
RF2-16	27.5/27.3	0.250	240.0	
RF2-17	27.5/27.3	0.250	240.0	
RF2-18	27.5/27.3	0.250	240.0	
RF2-19	27.5/27.3	0.250	240.0	
RF2-20	27.5/27.3	0.250	240.0	
RF2-21	27.5/27.3	0.250	240.0	
RF2-22	27.5/27.3	0.250	240.0	
RF2-23	27.5/27.3	0.250	240.0	
RF2-24	27.5/27.3	0.250	240.0	
RF2-25	27.5/27.3	0.250	240.0	
RF2-26	27.5/27.3	0.250	240.0	
RF2-27	27.5/27.3	0.250	240.0	
RF2-28	27.5/27.3	0.250	240.0	
RF2-29	27.5/27.3	0.250	240.0	
RF2-30	27.5/27.3	0.250	240.0	
RF2-31	27.5/27.3	0.250	240.0	
RF2-32	27.5/27.3	0.250	240.0	
RF2-33	27.5/27.3	0.250	240.0	
RF2-34	27.5/27.3	0.250	240.0	
RF2-35	27.5/27.3	0.250	240.0	
RF2-36	27.5/27.3	0.250	240.0	
RF2-37	27.5/27.3	0.250	240.0	
RF2-38	27.5/27.3	0.250	240.0	
RF2-39	27.5/27.3	0.250	240.0	
RF2-40	27.5/27.3	0.250	240.0	
RF2-41	27.5/27.3	0.250	240.0	
RF2-42	27.5/27.3	0.250	240.0	
RF2-43	27.5/27.3	0.250	240.0	
RF2-44	27.5/27.3	0.250	240.0	
RF2-45	27.5/27.3	0.250	240.0	
RF2-46	27.5/27.3	0.250	240.0	
RF2-47	27.5/27.3	0.250	240.0	
RF2-48	27.5/27.3	0.250	240.0	
RF2-49	27.5/27.3	0.250	240.0	
RF2-50	27.5/27.3	0.250	240.0	
RF2-51	27.5/27.3	0.250	240.0	
RF2-52	27.5/27.3	0.250	240.0	
RF2-53	27.5/27.3	0.250	240.0	
RF2-54	27.5/27.3	0.250	240.0	
RF2-55	27.5/27.3	0.250	240.0	
RF2-56	27.5/27.3	0.250	240.0	
RF2-57	27.5/27.3	0.250	240.0	
RF2-58	27.5/27.3	0.250	240.0	
RF2-59	27.5/27.3	0.250	240.0	
RF2-60	27.5/27.3	0.250	240.0	
RF2-61	27.5/27.3	0.250	240.0	
RF2-62	27.5/27.3	0.250	240.0	
RF2-63	27.5/27.3	0.250	240.0	
RF2-64	27.5/27.3	0.250	240.0	
RF2-65	27.5/27.3	0.250	240.0	
RF2-66	27.5/27.3	0.250	240.0	
RF2-67	27.5/27.3	0.250	240.0	
RF2-68	27.5/27.3	0.250	240.0	
RF2-69	27.5/27.3	0.250	240.0	
RF2-70	27.5/27.3	0.250	240.0	
RF2-71	27.5/27.3	0.250	240.0	
RF2-72	27.5/27.3	0.250	240.0	
RF2-73	27.5/27.3	0.250	240.0	
RF2-74	27.5/27.3	0.250	240.0	
RF2-75	27.5/27.3	0.250	240.0	
RF2-76	27.5/27.3	0.250	240.0	
RF2-77	27.5/27.3	0.250	240.0	
RF2-78	27.5/27.3	0.250	240.0	
RF2-79	27.5/27.3	0.250	240.0	
RF2-80	27.5/27.3	0.250	240.0	
RF2-81	27.5/27.3	0.250	240.0	
RF2-82	27.5/27.3	0.250	240.0	
RF2-83	27.5/27.3	0.250	240.0	
RF2-84	27.5/27.3	0.250	240.0	
RF2-85	27.5/27.3	0.250	240.0	
RF2-86	27.5/27.3	0.250	240.0	
RF2-87	27.5/27.3	0.250	240.0	
RF2-88	27.5/27.3	0.250	240.0	
RF2-89	27.5/27.3	0.250	240.0	
RF2-90	27.5/27.3	0.250	240.0	
RF2-91	27.5/27.3	0.250	240.0	
RF2-92	27.5/27.3	0.250	240.0	
RF2-93	27.5/27.3	0.250	240.0	
RF2-94	27.5/27.3	0.250	240.0	
RF2-95	27.5/27.3	0.250	240.0	
RF2-96	27.5/27.3	0.250	240.0	
RF2-97	27.5/27.3	0.250	240.0	
RF2-98	27.5/27.3	0.250	240.0	
RF2-99	27.5/27.3	0.250	240.0	
RF2-100	27.5/27.3	0.250	240.0	

- GENERAL NOTES**
- INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 - MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.
 - FLANGE BRACES:
FBxxk-xx=length(in)
A = L2X13XA
D = L3X11GA
C = L3X8
 - RIGID FRAME LABELS:
RF12 ASSEMBLY MARK NUMBER
RF1-2 REFER TO MARK IN MEMBER TABLE



RIGID FRAME CROSS SECTION: FRAME LINE 9
 AT TIME OF EXPANSION, ADDITIONAL FLANGE BRACES MUST BE INSTALLED TO MATCH THE INTERIOR FRAME LINES.

MANUFACTURING PROCEEDING
 THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

Rev.	Date	By	Description
1	02/09/2022	EB	REVISED RIGID FRAME
0	01/26/2022	EB	ISSUED FOR INFORMATION

CLIENT
GLOBAL STEEL BUILDINGS

PROJECT
GREEN LID DUNDALK

PROJECT LOCATION
DUNDALK, ONTARIO



Drawing #13 Dated March 2, 2022

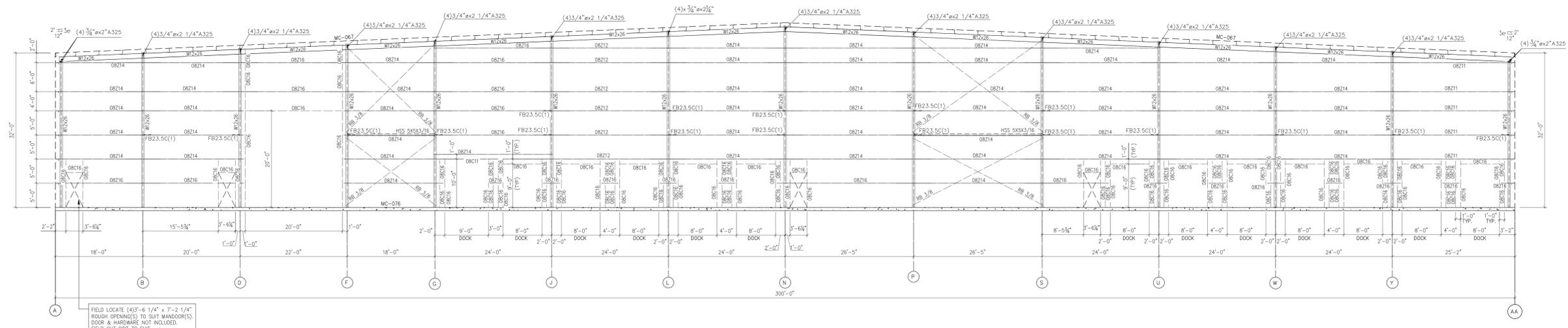
DRAWING NAME
FRAME CROSS SECTION

DRAWING No.
76198-S4

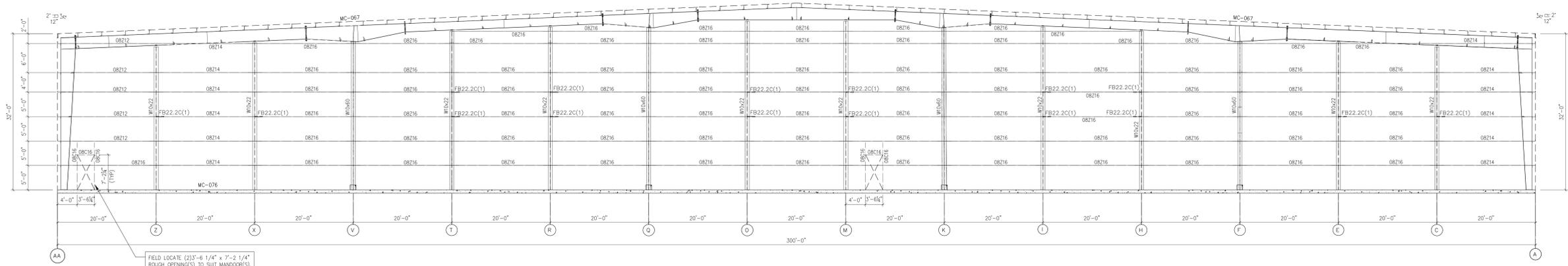
Drawn By	Checked By
KSK	

SEE: 480-0 (2020) ENGINEER'S SEAL APPLIES ONLY TO STEELWAY PRODUCTS

Professional Engineer Seal:
 CLINTON G STREDWICK
 90581507
 2022 Feb 16
 PROVINCE OF ONTARIO



ENDWALL FRAMING: FRAME LINE 1
PLEASE CONFIRM FIELD LOCATED OPENINGS



ENDWALL FRAMING: FRAME LINE 9
PLEASE CONFIRM FIELD LOCATED OPENINGS

- INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
- DOOR FRAMED OPENINGS NOTED NOMINALLY AS 5'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 5'-4 1/2"x7'-2 1/2". DOOR FRAMED OPENINGS NOTED NOMINALLY AS 6'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 6'-4 3/4"x7'-2 1/2". HEADERS ARE NOT PROVIDED IF 7'-6" GRT IS PRESENT.
- ALL OTHER FRAMED OPENINGS ARE PROVIDED WITH THE ROUGH OPENING DIMENSIONS INDICATED.
- ALL FRAMED OPENINGS ARE FACTORY LOCATED, UNLESS NOTED AS FIELD LOCATED. FIELD WORK IS REQUIRED FOR FIELD LOCATED OPENINGS.
- IF GRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING LOCATION MAY BE ADJUSTED FROM THE DIMENSIONS PROVIDED ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS, UP TO 1"-0" HORIZONTALLY. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
- IF NO GRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING MAY BE LOCATED ANYWHERE WITHIN THE BAY/GRT SPACING THEY ARE SHOWN ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
- GRTS ARE TIED UP UNLESS NOTED OTHERWISE AS (TIED DOWN). IF THERE IS A DISCREPANCY, PLEASE REFER TO MODEL.
- ME & MEZZANINE BEAM, REFER TO MEZZANINE PLAN.
- FLANGE BRACES:
 - FB24k = web/height (k)
 - A = L24132A
 - D = L24132A
 - C = L3x8
- RIGID FRAME LABELS:
 - FB22 ASSEMBLY MARK NUMBER
 - FB21-2 REFER TO MARK NUMBER TABLE



Drawing #14 Dated March 2, 2022

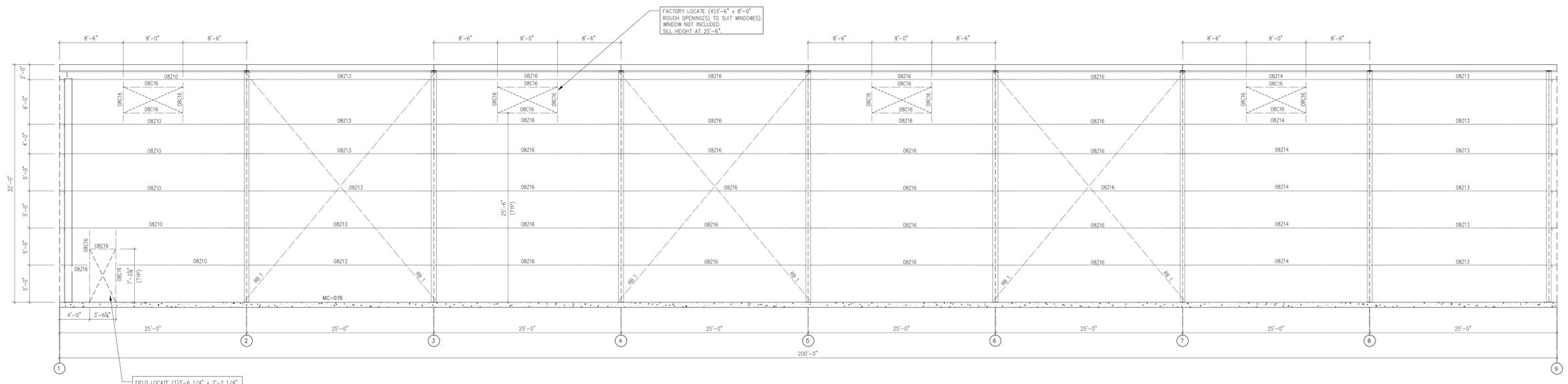
MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

1	02/09/2022	EB	REVISED ENDWALL FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION
Rev	Date	By	Description

CLIENT: GLOBAL STEEL BUILDINGS
PROJECT: GREEN LID DUNDALK
PROJECT LOCATION: DUNDALK, ONTARIO
DRAWING NAME: ENDWALL ELEVATIONS
DRAWING No.: 76198-S5
DRAWN BY: KSK
CHECKED BY: [Signature]



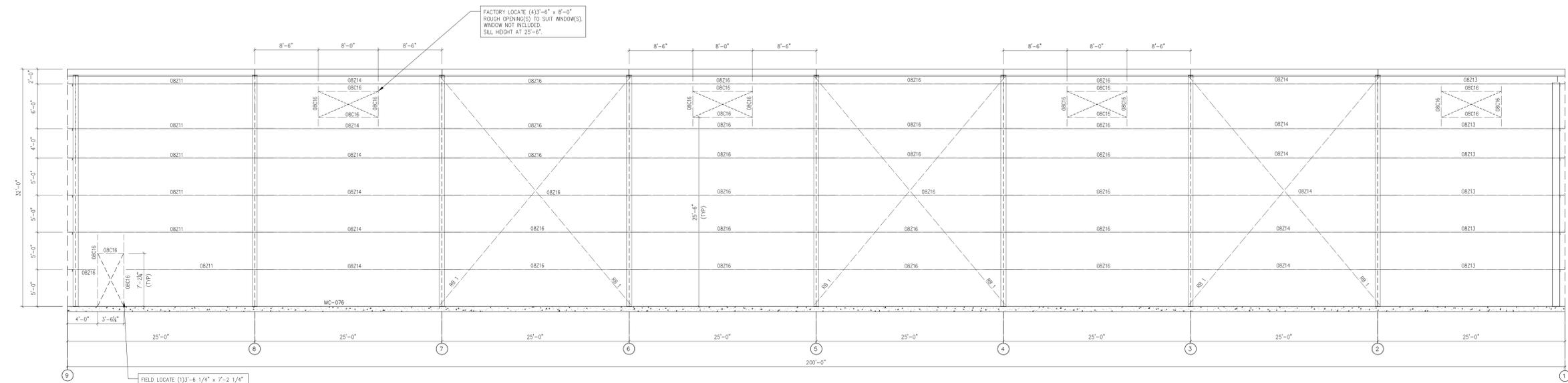
- GENERAL NOTES**
1. INFORMATION ON THIS DRAWING IS INTENDED FOR CONSTRUCTION ONLY WHEN BEARING A STEELWAY ENGINEER'S SIGNED PROFESSIONAL SEAL AND WHEN FREE OF ANY NOTATIONS STATING OTHERWISE.
 2. DOOR FRAMED OPENINGS NOTED NOMINALLY AS 5'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 5'-4 1/2" x 7'-2 1/4". DOOR FRAMED OPENINGS NOTED NOMINALLY AS 6'x7' ARE PROVIDED WITH ROUGH OPENING DIMENSIONS OF 6'-4 3/4" x 7'-2 1/4". HEADERS ARE NOT PROVIDED IF 7'-6" GRT IS PRESENT.
 3. ALL OTHER FRAMED OPENINGS ARE PROVIDED WITH THE ROUGH OPENING DIMENSIONS INDICATED.
 4. ALL FRAMED OPENINGS ARE FACTORY LOCATED, UNLESS NOTED AS FIELD LOCATED. FIELD WORK IS REQUIRED FOR FIELD LOCATED OPENINGS.
 - 4.1. IF GRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING LOCATION MAY BE ADJUSTED FROM THE DIMENSIONS PROVIDED ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS, UP TO 1"-0" HORIZONTALLY. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
 - 4.2. IF NO GRTS REQUIRE TO BE FIELD/FACTORY CUT DUE TO A FIELD LOCATED OPENING, THE FIELD LOCATED OPENING MAY BE LOCATED ANYWHERE WITHIN THE BAY/GIRT SPACING THEY ARE SHOWN ON "ISSUED FOR ERECTION" STEELWAY DRAWINGS. ADJUSTMENTS NOT MEETING THIS CRITERIA, WILL NEED TO BE APPROVED BY A STEELWAY ENGINEER.
 5. GRTS ARE TOED UP UNLESS NOTED OTHERWISE AS (TOED DOWN). IF THERE IS A DISCREPANCY, PLEASE REFER MODEL.
 6. MB = MEZZANINE BEAM, REFER TO MEZZANINE PLAN.



SIDEWALL FRAMING: FRAME LINE AA
PLEASE CONFIRM FIELD LOCATED OPENINGS



Drawing # 15 Dated March 2, 2022



SIDEWALL FRAMING: FRAME LINE A
PLEASE CONFIRM FIELD LOCATED OPENINGS

MANUFACTURING PROCEEDING
THIS DRAWING REPRESENTS STEELWAY'S INTERPRETATION OF THE CONTRACT REQUIREMENTS FOR THIS PROJECT. PLEASE PERFORM A THOROUGH REVIEW OF ALL ITEMS SHOWN. PRODUCTION IS PROCEEDING UNLESS STEELWAY IS IMMEDIATELY ADVISED. OTHERWISE, ACCEPTANCE IS IMPLIED.

Rev.	Date	By	Description
1	02/09/2022	EB	REVISED SIDEWALL FRAMING
0	01/26/2022	EB	ISSUED FOR INFORMATION

CLIENT	
GLOBAL STEEL BUILDINGS	
PROJECT	
GREEN LID DUNDALK	
PROJECT LOCATION	
DUNDALK, ONTARIO	
DRAWING NAME	
SIDEWALL ELEVATIONS	
DRAWING No.	
76198-S6	
DRAWN BY	CHECKED BY
KSK	

