

The Corporation of the Township of Southgate
By-law Number 2022-034

Being a by-law to authorize the execution of a Site Plan Control Agreement

Whereas Section 41 of the Planning Act, RSO 1990, Chapter P.13 as amended authorizes municipalities to designate areas of Site Plan Control, and to subsequently enter into agreements with respect to the conditions of development or redevelopment of lands in areas of Site Plan Control; and

Whereas all of the lands within the Township are designated as a Site Plan Control Area pursuant to the provisions of Section 41 of the Planning Act and By-law 2021-111; and

Whereas the Council of the Township of Southgate deems it expedient to enter into a Site Plan Agreement with the owner,

Now therefore be it resolved that the Council of the Corporation of the Township of Southgate enacts as follows:

1. **That** a Site Plan Agreement between Bluewater District School Board and the Township of Southgate for the development of the lands described as Con 3 W, Pt Lot 37 Township of Southgate is authorized. Such agreement being attached hereto as Schedule "A" and which forms a part of this by-law;
2. **That** the Mayor and Clerk are authorized to sign the Site Plan Agreement on behalf of the Council of the Corporation of the Township of Southgate in substantially the form as that set out in Schedule A;
3. **That** the Clerk is authorized and directed to cause notice of the Site Plan Agreement to be registered on the title to the said lands forthwith after it has been signed by all parties; and
4. **That** this By-law shall come into full force and effect upon the final passing hereof.

Read a first and second time this 16th day of March 2022.

Read a third time and finally passed this 16th day of March 2022.

Mayor – John Woodbury

Clerk- Lindsey Green

THE CORPORATION OF
THE TOWNSHIP OF SOUTHGATE

SITE PLAN AGREEMENT

THIS AGREEMENT made in triplicate this_____ day of_____, 2022

Between: Bluewater District School Board

(hereinafter called the "OWNERS" OF THE FIRST PART)

- and -

THE CORPORATION OF THE TOWNSHIP OF SOUTHGATE

(hereinafter called the "TOWNSHIP" OF THE SECOND PART)

WHEREAS the OWNERS represents that they are the owners of these lands and premises in the Township of Southgate in the County of Grey, being more particularly described in s Schedule "A"

AND WHEREAS the OWNERS have applied to the TOWNSHIP to permit development on the OWNER'S lands;

AND WHEREAS the Encumbrancer(s) (if any) hold registered security interests in the lands and all Encumbrancers of the lands are included as parties to this Agreement

AND WHEREAS the OWNERS have agreed with the TOWNSHIP to furnish and perform the works, material, matters and things required to be done, furnished and performed in the manner hereinafter described in connection with the proposed use of the subject lands;

AND WHEREAS the said lands have been designated by the Council of the TOWNSHIP as being within a site plan control area as provided by Section 41 of the Planning Act, R.S.O. 1990, as amended;

NOW THEREFORE witnesseth that in consideration of other good and valuable consideration and the sum of one -----(\$1.00)-----DOLLAR of lawful money of Canada now paid by the TOWNSHIP to the OWNER, the receipt whereof is hereby acknowledged, the OWNERS and the TOWNSHIP covenant, declare and agree as follows:

SECTION 1 - LANDS TO BE BOUND

1. The lands to be bound by the terms and conditions of this Agreement (sometimes referred to as "the subject lands"), are located in the geographic Township of Egremont, in the TOWNSHIP OF SOUTHGATE, and are more particularly described in Schedule "A".

SECTION II - COMPONENTS OF THE AGREEMENT

1. The text and the following Schedules, which are annexed hereto, constitute the components of this Agreement.

Schedule "A" - Legal Description of the Lands being developed.

Schedule "B" - Site Plan(s)

SECTION III - REGISTRATION OF AGREEMENT

1. This Agreement shall be registered on title to the said lands as provided for by Section 41(10) of the Planning Act, R.S.O., 1990, as amended, at the expense of the OWNERS;
2. The OWNERS agree that all documents required herein shall be submitted in a form suitable to the TOWNSHIP and suitable for registration, as required;
3. The PARTIES agree that this Agreement must be registered against the OWNERS' lands within thirty (30) days of the execution thereof by both parties.

SECTION IV - BUILDING PERMITS

1. The OWNERS agree to not request the Chief Building Official to issue any further building permits to carry out the development until this Agreement has been registered on title to the lands described in Schedule "A" attached hereto and a registered copy of same has been provided to the Township.
2. It is agreed that if the OWNERS fail to apply for any building permit or permits to implement this Agreement within 12 months from the date upon which such building permit would be available, then the TOWNSHIP, at its option has the right to terminate the said Agreement and require that a new Site Plan Agreement be submitted for approval and execution.

SECTION V - PROVISIONS

1. **THIS AGREEMENT** applies to works related to the entire subject lands and includes the exterior of existing buildings, new structures, drainage and servicing and entrance as required. Agricultural and residential uses are not applicable to this Site Plan Agreement in accordance with section 41 of the Planning Act and By-law 47-2007.

2. **THE OWNERS** further covenant and agree to develop the subject lands in accordance with the Site Plan being Schedule "B" attached hereto, and that no work will be performed on the subject lands except in conformity to all provisions of this Agreement.

3. **THE OWNERS** agree to carry out on the lands at the work, and to construct, install and maintain at its expense all of the services, works and facilities stipulated, described by words and numbers, and shown in and upon the following Plans, that is:

(i) Submitted Site Plan Drawings;

which Plan is hereinafter called "the Site Plan." Notwithstanding the generality of the foregoing the requirements under this agreement include all of the notes and printed text contained in and on the Plans making up the Site Plan.

4. **FURTHER DESCRIPTION OF WORK AND LOCATION OF SITE PLAN.** Without limiting the generality of the foregoing, all of the specifications and said requirements contained in the said Site Plan, which is on file at Southgate's Municipal Office, shall be adhered to and satisfied by the Owner to the satisfaction of Southgate.

5. **EXTERIOR FASCIA.** The owner agrees to construct all building and structures in accordance with the approved plans identified in Schedule B.

6. **STORM DRAINAGE -- GENERAL.** Notwithstanding the foregoing, the Owner agrees that the storm drainage system on and for the lands shall be designed and constructed to the satisfaction of Southgate at the expense of the Owner.

7. **ENTRANCE and FRONTAGE.** The entrance to the property is from Grey Road 109. The County of Grey requires that Pt 22 of Plan 17R-306 be conveyed to the County of Grey for Road widening purposes.

8. **FIRE SUPPRESSION.** The owner agrees to install all necessary servicing and equipment on the property for fire fighting and fire suppression including if required a water reservoir, at the owners expense.

9. **SERVICING.** The owner is responsible for ensuring that a private well and sewage disposal system are in good working order to accommodate the school and daycare facility and its employees.

10. **LANDSCAPED BUFFERING.** No landscaped buffer is required.

11. **OUTSIDE STORAGE.** Outside storage may only be located in areas identified on the Site Plan if applicable. Stacking in the outside storage area is limited to a maximum height of 3m.

12. **DUST CONTROL MEASURES.** The owner agrees to provide for dust control measures such as calcium and water, to mitigate impacts as required by the Township of Southgate. These measures will be required for those areas of the site not asphalted or seeded with grass.

13. **LIGHTING.** All exterior lighting must be dark sky compliant. It must be pointed downward and remain internal to the site in accordance with the Township of Southgate Standards.

14. **POSTPONEMENT AND SUBORDINATION OF ENCUMBRANCES.** The Owner covenants and agrees, at its own expense, to obtain and register such documentation from its mortgagees or those holding encumbrances as may be deemed necessary by Southgate to postpone and subordinate their interest in the lands to the interest of Southgate to the extent that this Agreement shall take effect and have priority as if it have been executed and registered prior to the execution and registration of any such mortgages or encumbrances.

15. **SOUTHGATE'S PROFESSIONAL FEES AND DISBURSEMENTS.** The Owner shall reimburse Southgate for all of its engineering and legal expenses (professional fees and disbursements) in connection with the development and implementation of this Agreement.

16. **WAIVER.** The failure of Southgate at any time to require performance by the Owner of any obligation under this Agreement shall in no way affect its right thereafter to enforce such obligation, nor shall the waiver by Southgate of the performance of any obligation hereunder be taken or be held to be a waiver of the performance of the same or any other obligation hereunder at any later time. Southgate shall specifically retain its rights at law to enforce this Agreement.

17. **NO CHALLENGE TO THE AGREEMENT.** The parties covenant and agree with each other not to call into question or challenge, directly or indirectly, in any proceeding or action in court, or before any administrative tribunal, the parties' right to enter into and force this Agreement. The law of contract applies to this Agreement and the parties are entitled to all remedies arising from it, notwithstanding any provisions in Section 41 of the Planning Act interpreted to the contrary. The parties agree that adequate consideration has flowed from each party to the other and that they are not severable. This provision may be pleaded by either party in any action or proceeding as an estoppel of any denial of such right.

18. **ENFORCEMENT.** The Owner acknowledges that Southgate, in addition to any other remedy it may have at law, may also be entitled to enforce this Agreement in accordance with Section 446 of the **Municipal Act, 2001** as amended.

19. **MEDIATION.** Without affecting Southgate's statutory right under subsection 41(11) of the said **Planning Act** to, at its complete discretion, invoke the provisions

of Section 446 of the **Municipal Act, 2001** as amended regarding any applicable requirement herein in which case this paragraph shall be inoperative and inapplicable, in the event that a dispute relating to this Agreement or its implementation arises that cannot be resolved by negotiation between the parties, the parties agree to use the services of a mediator to attempt to resolve their differences and failing agreement on the procedure to be followed, it shall be conducted in accordance with the rules of procedure for the conduct of mediations of the ADR Institute of Ontario Inc. or its successor body.

20. REGISTRATION. The Owner consents to the registration of this Agreement or Notice of this Agreement by Southgate on the title to the lands.

21. ENUREMENT CLAUSE. The covenants, agreements, stipulations, declarations, and provisions contained herein shall run with the lands and shall be binding upon the Owner and its successors and assigns and the benefit thereof shall enure to Southgate and its successors and assigns.

SECTION VI - BINDING PARTIES, ALTERATION, AMENDMENT, EFFECT, NOTICE, PENALTY

1. This Agreement may only be amended or varied by a written document of equal formality herewith duly executed by the parties hereto and registered against the title to the subject lands.

2. The OWNER further agrees to complete the items detailed on Schedule "B" within two (2) years of the date of registration of this Agreement.

3. Following completion of the works, the OWNER shall maintain to the satisfaction of the TOWNSHIP, and at the sole expense of the OWNER, all the facilities or works described in Schedule "B".

4. This Agreement shall inure to the benefit of and be binding upon the respective successors and assigns of each of the PARTIES hereto.

5. The Agreement shall come into effect on the date of execution by the TOWNSHIP.

6. The OWNER acknowledges that this Agreement is entered into under the provisions of Section 41(7)(c) of the Planning Act, R.S.O., 1990, as amended.

7. Any notice required to be given pursuant to the terms hereto shall be in writing and mailed or delivered to the other at the following address:

To the OWNER: Bluewater District School Board
 PO Box 190
 Chesley, ON
 N0G 1L0

To the TOWNSHIP: Clerk
 Township of Southgate
 185667 Grey Rd 9, R.R. 1,
 Dundalk, ON
 N0C 1B0

IN WITNESS WHEREOF the corporate parties have executed this Agreement by affixing thereto their corporate seals, as attested by the hand of their proper signing officers duly authorized in that behalf.

AND IN WITNESS WHEREOF the natural parties hereto have hereunto set their hands and seals. Signing authorized by By-law 2022-034

SIGNED, SEALED AND
DELIVERED

in the presence of:

Witness

Witness

) **BLUEWATER DISTRICT SCHOOL BOARD**

)

)

)

)

)

)

)

) Per: _____

) Name:

) Date: _____

)

)

) Per: _____

) Name:

) Date: _____

)

)

)

) **THE CORPORATION OF THE
TOWNSHIP OF SOUTHGATE**

)

)

) Per: _____

)

John Woodbury, Mayor

)

)

) Per: _____

)

Lindsey Green, Clerk

)

) Date: _____

)

) We have authority to bind the corporation

)

)

Schedule "A"

THE LAND

All and singular that certain parcel or tract of land and premises situate, lying and being in the Township of Southgate, in the County of Grey and Province of Ontario, and being composed of:

**Concession 3, Pt Lot 37, Geographic Township of
Egremont, Township of Southgate alternatively described
as 392141 Grey Road 109.**

Schedule "B"

SITE PLANS

Drawing #1. Dated March 16th, 2022 and signed by the planner

Drawing #2. Dated March 16th, 2022 and signed by the planner

Drawing #3. Dated March 16th, 2022 and signed by the planner

Drawing #4. Dated March 16th, 2022 and signed by the planner

Drawing #5. Dated March 16th, 2022 and signed by the planner

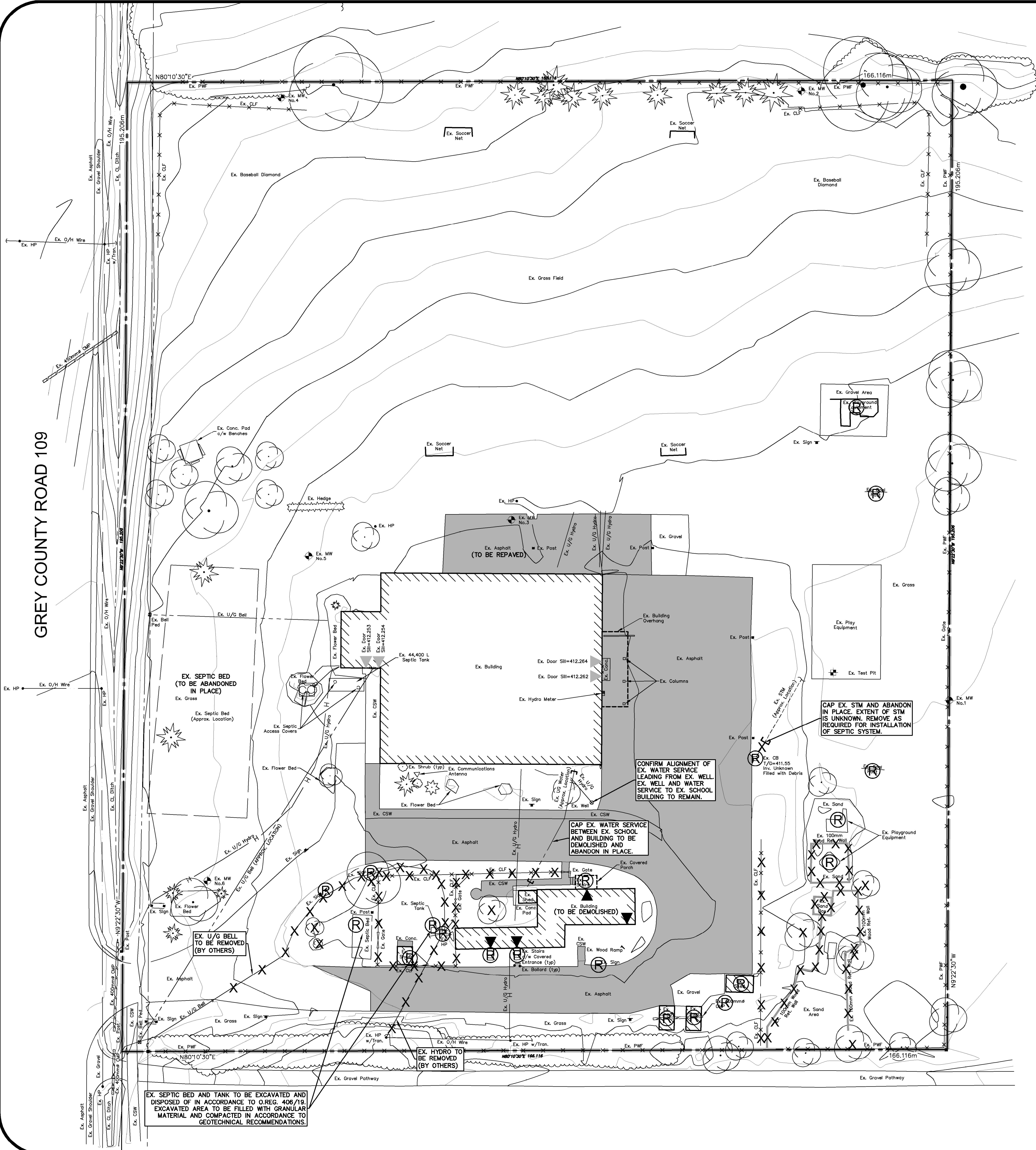
Drawing #6. Dated March 16th, 2022 and signed by the planner

Drawing #7. Dated March 16th, 2022 and signed by the planner

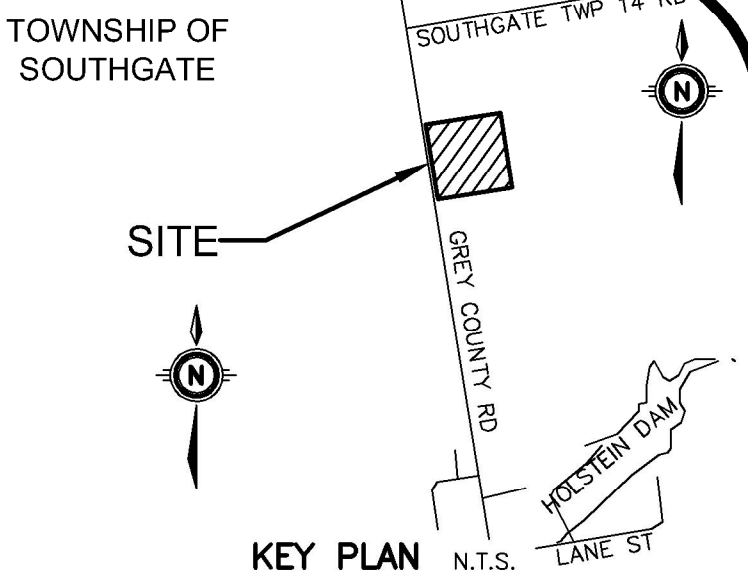
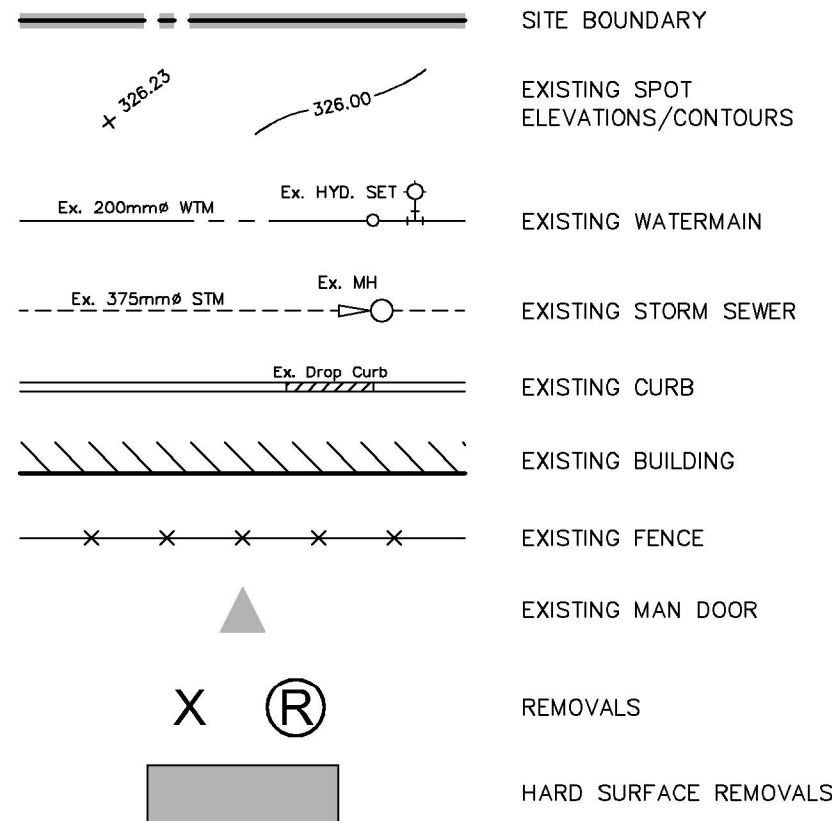
Drawing #8. Dated March 16th, 2022 and signed by the planner

Drawing #9. Dated March 16th, 2022 and signed by the planner

GREY COUNTY ROAD 109



LEGEND OF EXISTING FEATURES



GEODETIC BM ELEV. = 402.137m
SITE BENCHMARK ELEV. = N/A/m

NOTE TO CONTRACTOR :
DO NOT SCALE DRAWINGS.
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.
THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

- NOTE:
1. PROPERTY-LINE IS APPROXIMATE ONLY.
2. PLAN TO BE READ IN CONJUNCTION WITH C1.1, C2.1, C2.2, C2.3 AND SWM REPORT.

8.			
7.			
6.			
5.			
4.	RE-ISSUED FOR SPA	AXT	2022-01-14
3.	ISSUED FOR PERMIT	AXT	2021-12-15
2.	ISSUED FOR SPA	CSM	2021-11-12
1.	ISSUED FOR INFORMATION	LXS	2018-09-10
NO. REVISION		BY	YYYY-MM-DD



Engineers, Scientists, Surveyors

(519) 743-6500 www.mte85.com



CLIENT
SRM ARCHITECTS INC.

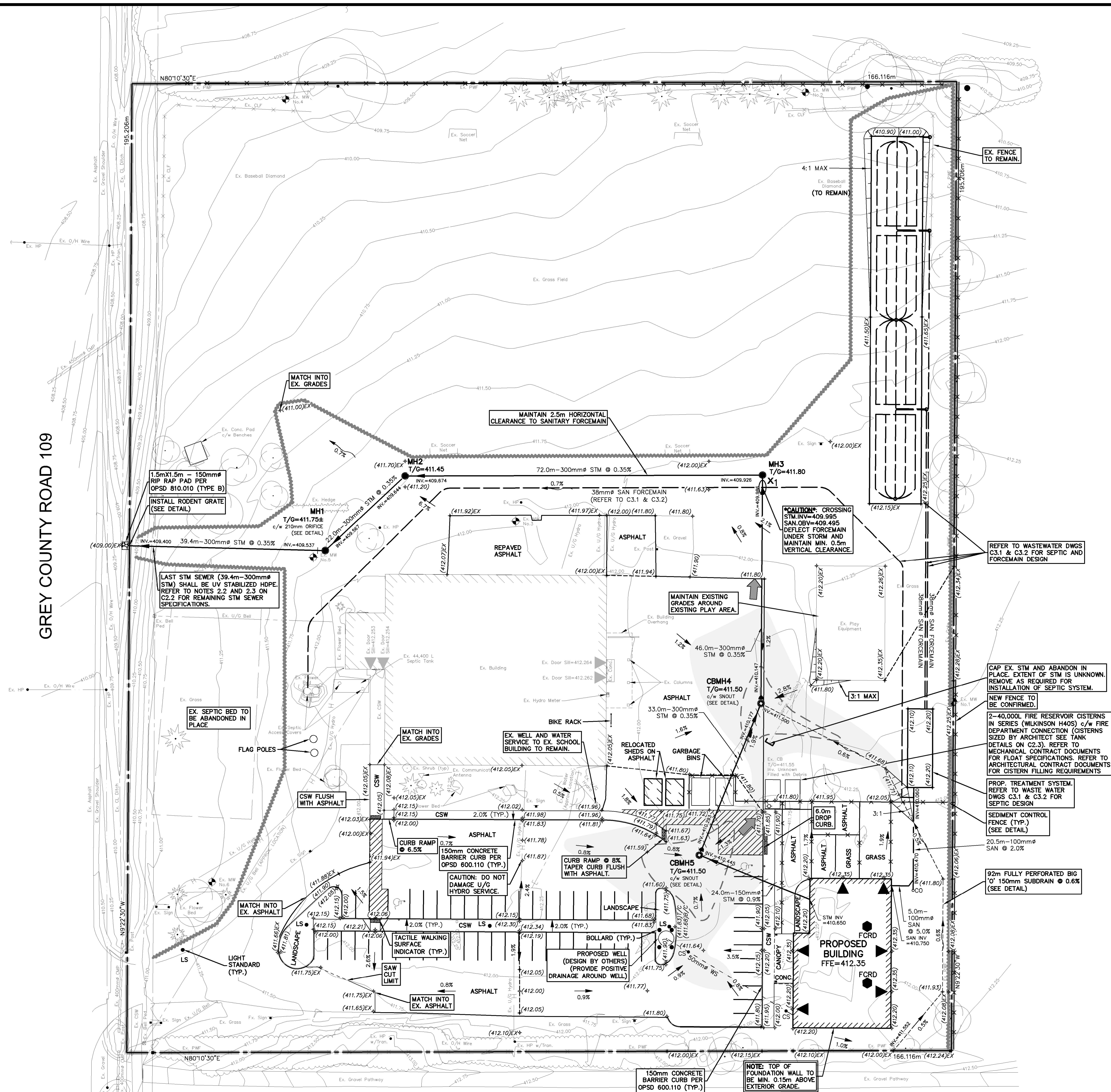
279 KING STREET WEST SUITE 200 KITCHENER
PROJECT
EGREMONT COMMUNITY SCHOOL
NEW CHILDCARE FACILITY
GREY ROAD 109 HOLSTEIN; SOUTHGATE
DRAWING

EXISTING CONDITIONS
AND REMOVALS PLAN

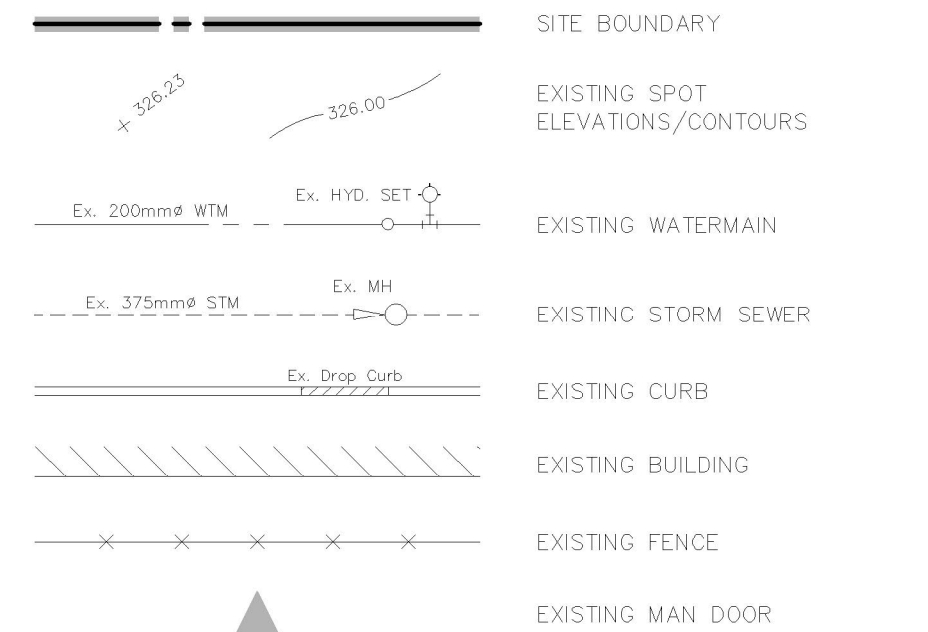
Project Manager A.TCHOUMATCHEV	Project No. 44550-100
Design By CSM	Checked By LEI
Drawn By BDT/GLC	Checked By CSM/AXT
Surveyed By MTE/OLS	Drawing No. C1.1
Date Aug.27/18	Scale 1:400
Sheet 1 of 4	

Drawing #1 Dated March 16, 2022

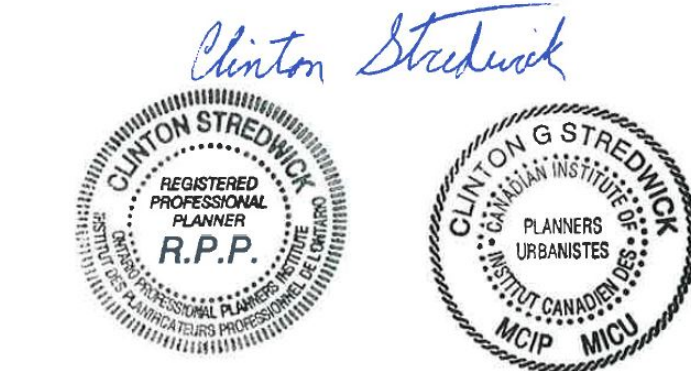
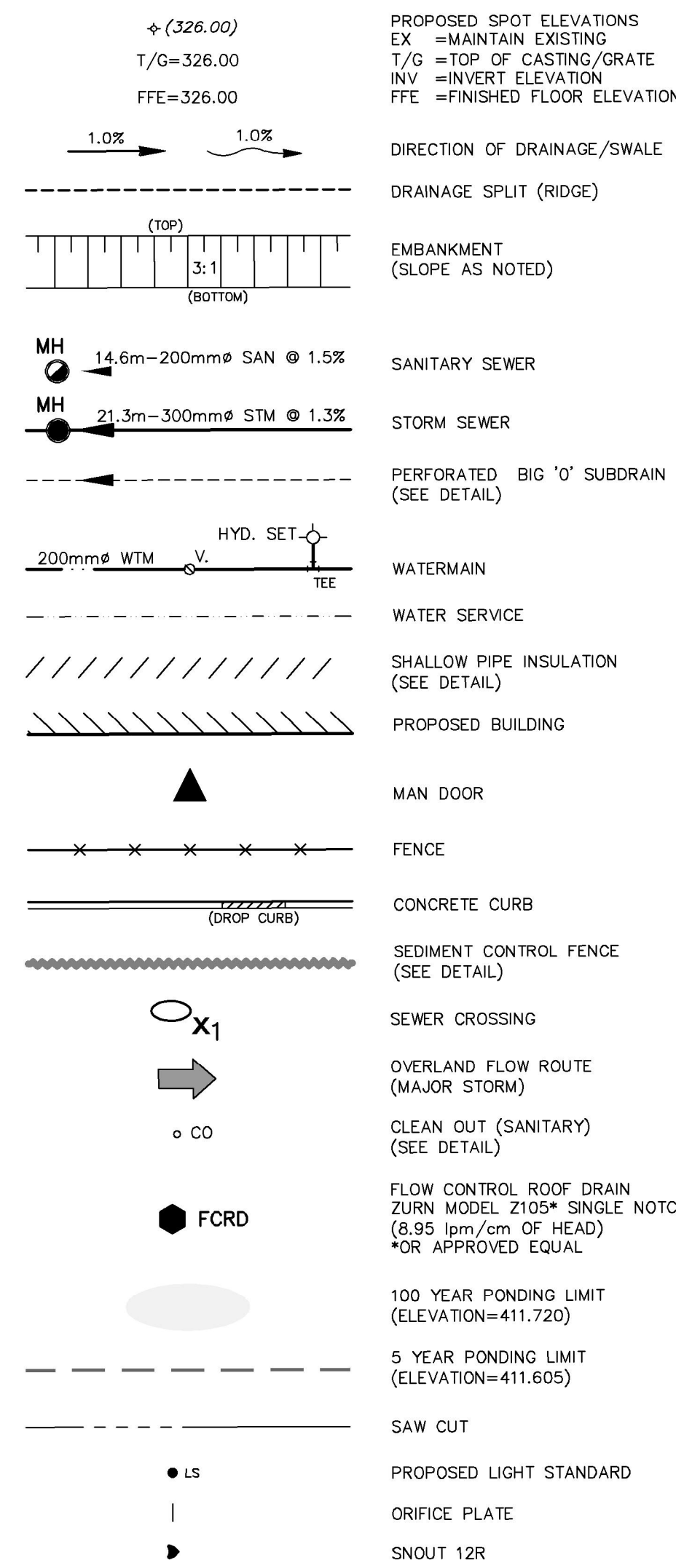




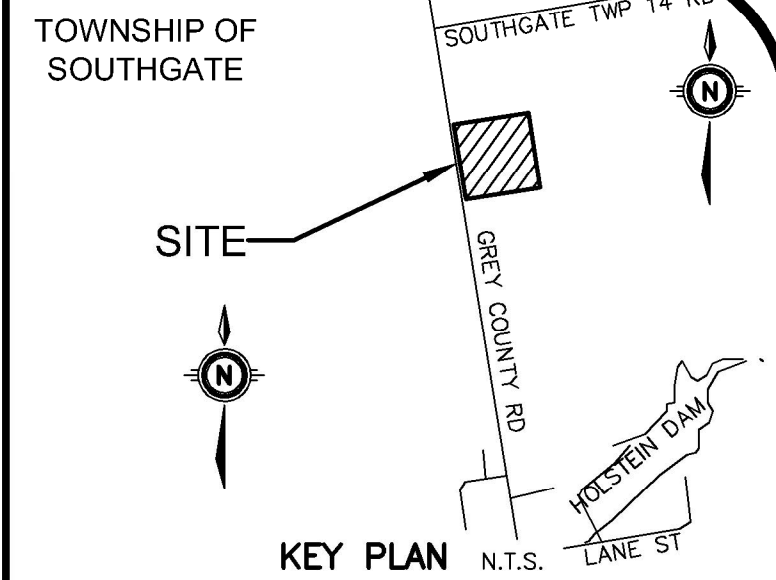
LEGEND OF EXISTING FEATURES



LEGEND OF PROPOSED FEATURES



Drawing #2 Dated March 16, 2022



GEODETIC BM ELEV. = 402.137m

HOLSTEIN CONCRETE HIGHWAY BRIDGE OVER BEAUTY SAUGLEEN RIVER IN VILLAGE, TABLET IN N. FACE OF S. CONCRETE RETAINING WALL AT E. SIDE OF BRIDGE, 4.02m FROM E. EDGE OF BRIDGE, 1.16m BELOW TOP OF RETAINING WALL.

SITE BENCHMARK ELEV. = N/A

SEE ABOVE.

NOTE TO CONTRACTOR :

DO NOT SCALE DRAWINGS.

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

- NOTE:
- PROPERTY-LINE IS APPROXIMATE ONLY.
 - PLAN TO BE READ IN CONJUNCTION WITH C1.1, C2.1, C2.2, C2.3 AND SWM REPORT.

8.			
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4.	RE-ISSUED FOR SPA	AXT	2022-01-14
3.	ISSUED FOR PERMIT	AXT	2021-12-15
2.	ISSUED FOR SPA	COM	2021-11-12
1.	ISSUED FOR INFORMATION	LXS	2018-09-10
No. REVISION		BY	YYY-MM-DD



Engineers, Scientists, Surveyors

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CLIENT

SRM ARCHITECTS INC.

279 KING STREET WEST SUITE 200 KITCHENER

PROJECT

EGREMONT COMMUNITY SCHOOL

NEW CHILDCARE FACILITY

GREY ROAD 109 HOLSTEIN, SOUTHGATE

DRAWING

SITE GRADING, SERVICING AND SWM PLAN

Project Manager	A.TCHOUMATCHEV	Project No.	44550-100
Design By	CXM	Checked By	LEI
Drawn By	AXB/GLC	Checked By	CXM/AXT
Surveyed By	MTE/OLS	Drawing No.	C2.1
Date	Oct.03/18	Sheet 2 of 4	
Scale	1:400		

CONSTRUCTION NOTES AND SPECIFICATIONS

1. GENERAL

- 1.1. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
- 1.2. THESE PLANS ARE TO BE USED FOR SERVING AND GRADING ONLY. ANY OTHER INFORMATION SHOWN IS FOR INFORMATION PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED BUILDING.
- 1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
- 1.4. THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF MTE CONSULTANTS INC.
- 1.5. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:
- 1.5.1. CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.
- 1.5.2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
- 1.5.3. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS (WHICH MAY APPEAR ON THIS PLAN) COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
- 1.5.4. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
- 1.6. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO LOCAL MUNICIPALITY STANDARDS
- 1.7. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WITH THE EXCEPTION OF WATERMAIN TAPPING, TO BE INSTALLED BY THE OWNER'S CONTRACTOR AT OWNER'S EXPENSE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S PROCEDURE FOR OFF-SITE WORKS BY PRIVATE CONTRACTOR. THE OWNER AND CONTRACTOR ARE TO ENSURE OFF-SITE WORKS PERMIT IS IN PLACE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL AFFECTED PROPERTY TO ORIGINAL CONDITION. ALL BOULEVARD AREAS SHALL BE RESTORED WITH 150mm TOPSOIL AND SOD.
- 1.8. ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL BUILDING CODE, (PART 7, PLUMBING), THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) AND THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND THE REGIONAL MUNICIPALITY OF WATERLOO, WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.
- 1.9. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE, DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- 1.10. SANITARY AND STORM SEWERS AND SERVICES TO HAVE A MINIMUM 1.4m COVER ON TOP OF PIPE WHERE COVER TO TOP OF PIPE IS DEFICIENT. CONTRACTOR SHALL INSTALL SHALLOW BURIED PIPE IN ACCORDANCE WITH APPLICABLE "SEWER PIPE INSULATION DETAIL" INDICATED IN DRAWING DETAILS. CONTACT DESIGN ENGINEER FOR "SEWER PIPE INSULATION DETAIL" IF REQUIRED.
- 1.11. PLAN TO BE READ IN CONJUNCTION WITH SWM REPORT AND DRAWING C1.1, C2.1, C2.3, C3.1, & C3.2 PREPARED BY MTE CONSULTANTS INC. AND LANDSCAPE PLAN.
- 1.12. SITE PLAN INFORMATION TAKEN FROM PLAN PREPARED BY SRM ARCHITECTS, DATED JANUARY 07, 2022.
- 1.13. EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLAN PREPARED BY MTE, DATED SEPTEMBER 10, 2018. MTE ASSUMES THAT ALL TOPOGRAPHICAL INFORMATION IS AN ACCURATE REPRESENTATION OF CURRENT CONDITIONS.
- 1.14. CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER PRIOR TO ENTERING, UPDATING UTILITIES OR LANDS TO UNDERTAKE ANY WORK. COPIES OF THESE LETTERS OF CONSENT SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT CONTRACTOR'S OWN RISK.
- 1.15. RETAINING WALLS TO BE DESIGNED BY OTHERS. FOR WALLS EXCEEDING 1.0m IN HEIGHT, SHOP DRAWINGS MUST BE SUBMITTED FOR REVIEW AND APPROVAL AND BUILDING PERMIT MUST BE OBTAINED. WALLS OVER 0.6m IN HEIGHT REQUIRE HIGH SIDE OF RETAINING WALLS TO BE BACKFILLED WITH FREE DRAINING MATERIAL.
- 1.16. ALL RETAINING WALLS 1.0m IN HEIGHT AND OVER MUST BE APPROVED BY THE CBO. ALL RETAINING WALLS LESS THAN 1.0m IN HEIGHT MUST BE APPROVED BY PLANNING.
- 1.17. SITE SERVING CONTRACTOR TO TERMINATE ALL SERVICES 1 METRE FROM FOUNDATION WALL.
- 1.18. FILTER FABRIC TO BE TERRAFIX 200R OR APPROVED EQUAL.
- 1.19. MAXIMUM GRASSSED SLOPE TO BE 3:1. SLOPES GREATER THAN 3:1 TO BE LANDSCAPED WITH LOW MAINTENANCE GROUND COVER.
- 1.20. SIDE SLOPES OF ALL STOCKPILES OR EXTRACTION FACES TO BE MAINTAINED AT 70 DEGREES OR LESS BETWEEN EARLY APRIL AND LATE AUGUST TO DETER BANK SWALLOWS FROM NESTING.
- 1.21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF THE LOCAL MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 1.22. THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- 1.23. CONTRACTOR TO MAINTAIN A 'CONFINED TRENCH CONDITION' IN ALL SEWER AND SERVICE TRENCHES.
- 1.24. FOLLOWING COMPLETION OF PROPOSED WORKS AND PRIOR TO OCCUPANCY INSPECTION, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED AND ALL CATCHBASIN AND CATCHBASIN MANHOLE SUMPS ARE TO BE CLEARED OF DEBRIS AND SILT.

2. STORM SEWERS

- 2.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030, PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.031, OR 802.032. PIPE BEDDING FOR FLEXIBLE PIPE TO BE GRANULAR "A". TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- 2.2. STORM SEWERS, 150mmØ AND SMALLER, SHALL BE POLYVINYL CHLORIDE (PVC) PIPE DR35 ASTM-D3034 WITH INTEGRAL BELL AND SPIGOT UTILIZING FLEXIBLE ELASTOMERIC SEALS.

- 2.3. STORM SEWERS 200mmØ TO 375mmØ SHALL BE POLYVINYL CHLORIDE (PVC) PIPE DR35 ASTM-D3034 OR RIBBED PVC SEWER PIPE CSA B182.4-M50 ASTM-F794 WITH INTEGRAL BELL AND SPIGOT UTILIZING FLEXIBLE ELASTOMERIC SEALS. RIBBED PVC NOT TO BE USED WITHIN RIGHT-OF-WAY.
- 2.4. FACTORY FABRICATED WYES SHALL BE USED FOR ALL SERVICE CONNECTIONS.
- 2.5. MANHOLES AND MANHOLE CATCHBASINS TO BE 1200mmØ PRECAST WITH ALUMINUM STEPS AT 300mm CENTRES AS PER OPSD 701.010 UNLESS OTHERWISE SPECIFIED.
- 2.6. CATCHBASINS TO BE 600mm SQUARE PRECAST AS PER OPSD 705.010.
- 2.7. ALL STORM STRUCTURES TO HAVE A MINIMUM 600mm DEEP SUMP. WHEN THE STRUCTURE INCLUDES THE INSTALLATION OF A SNOUT (OR APPROVED EQUIVALENT) THE SUMP DEPTH TO BE MIN 2.5 TIMES THE OUTLET PIPE DIAMETER SIZE.
- 2.8. MANHOLE AND CATCHBASIN, FRAMES, GRATES, CASTINGS AND LIDS TO BE QUALITY GREY IRON ASTM A48 CLASS 30B.
- 2.9. STORM MANHOLE LIDS TO BE PER OPSD 401.010 - TYPE 'B' CATCHBASIN AND CATCHBASIN MANHOLE GRATES TO BE PER OPSD 400.100. DITCH INLET CATCHBASIN GRATES TO BE PER OPSD 403.010.
- 2.10. ADJUSTMENT UNITS FOR STORM STRUCTURES TO BE IN ACCORDANCE WITH OPSD 704.010 OR 704.011.
- 2.11. STORM SEWERS AND SERVICES TO HAVE MINIMUM 1.4m COVER ON TOP OF PIPE WHERE COVER TO TOP OF PIPE IS DEFICIENT. CONTRACTOR SHALL INSTALL SHALLOW BURIED SEWER PIPE IN ACCORDANCE WITH APPLICABLE "SEWER PIPE INSULATION DETAIL" INDICATED IN DRAWING DETAILS. INSULATION SHALL BE RIGID EXTRUDED POLYSTYRENE (EPS) BOARD, WITH A THICKNESS SUFFICIENT TO PROVIDE AN RSI-1.76 (R10) INSULATING FACTOR (TYPICALLY 50-65mm). INSULATION BOARD WIDTH SHALL BE 1.8m FOR UP TO 200mm NOMINAL PIPE DIAMETER, 2.4m FOR 201mm-800mm DIAMETER AND 3.0m FOR 801mm-1400mm. ALL JOINTS SHALL BE TIGHTLY BUTTED TOGETHER (TAPE OR OTHERWISE SECURE JOINTS TO RESIST MOVEMENT DURING BACKFILL COVER). RIGID EPS BOARD SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 140kPa (20psi), AND A MAXIMUM WATER ABSORPTION RATE OF 2.0% BY VOLUME. ACCEPTABLE PRODUCTS ARE DOW STYROFOAM-SM OR -HI (FULL LINE), OWENS CORNING FOAMULAR (200, 250, OR HIGHER), PLASTISPAN HD-M28 OR OTHER ENGINEER-APPROVED EQUIVALENT.
- 2.12. UNDER NO CIRCUMSTANCES SHALL THE BUILDING FOUNDATION DRAINS BE CONNECTED DIRECTLY TO THE STORM SEWER SYSTEM.
- 2.13. ALL WEeping TILE DRAINAGE TO BE PUMPED TO THE STORM SEWER SYSTEM.

3. SANITARY SEWERS
- 3.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030, PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.010, BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR "A". TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- 3.2. SANITARY SEWERS 150mmØ AND SMALLER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE DR28 ASTM-D3034 WITH INTEGRAL BELL AND SPIGOT UTILIZING FLEXIBLE ELASTOMERIC SEALS.
- 3.3. FACTORY FABRICATED WYES SHALL BE USED FOR ALL SERVICE CONNECTIONS.
- 3.4. SANITARY SEWERS AND SERVICES TO HAVE MINIMUM 1.4m COVER ON TOP OF PIPE WHERE COVER TO TOP OF PIPE IS DEFICIENT. CONTRACTOR SHALL INSTALL SHALLOW BURIED PIPE IN ACCORDANCE WITH APPLICABLE "SEWER PIPE INSULATION DETAIL" INDICATED IN DRAWING DETAILS. INSULATION SHALL BE RIGID EXTRUDED POLYSTYRENE (EPS) BOARD, WITH A THICKNESS SUFFICIENT TO PROVIDE AN RSI-1.76 (R10) INSULATING FACTOR (TYPICALLY 50-65mm). INSULATION BOARD WIDTH SHALL BE 1.8m FOR UP TO 200mm NOMINAL PIPE DIAMETER, 2.4m FOR 201mm-800mm DIAMETER AND 3.0m FOR 801mm-1400mm. ALL JOINTS SHALL BE TIGHTLY BUTTED TOGETHER (TAPE OR OTHERWISE SECURE JOINTS TO RESIST MOVEMENT DURING BACKFILL PLACEMENT). RIGID EPS BOARD SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 140kPa (20psi), AND A MAXIMUM WATER ABSORPTION RATE OF 2.0% BY VOLUME. ACCEPTABLE PRODUCTS ARE DOW STYROFOAM-SM OR -HI (FULL LINE), OWENS CORNING FOAMULAR (200, 250, OR HIGHER), PLASTISPAN HD-M28 OR OTHER ENGINEER-APPROVED EQUIVALENT.
- 3.5. REFER TO C3.1 AND C3.2 FOR SEPTIC AND WASTEWATER SPECIFICATIONS.

4. WATERMANS

- 4.1. PIPE BEDDING FOR RIGID PIPE TO BE CLASS "B" AS PER OPSD 802.030, PIPE BEDDING FOR FLEXIBLE PIPE TO BE AS PER OPSD 802.010, BEDDING MATERIAL AND COVER MATERIAL TO BE GRANULAR "A". TRENCH BACKFILL TO BE NATIVE MATERIAL REPLACED IN 300mm LIFTS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- 4.2. WATER SERVICE CONNECTIONS 50mmØ AND SMALLER, SHALL BE TYPE "K" SOFT COPPER ASTM B88, ALUMINUM COMPOSITE CSA B137.10, OR HDPE SERIES 160 AWWA C 901 WITH WATER SERVICE SADDLE. COPPER SERVICE SHALL HAVE 5.5kg ANODE.
- 4.3. WATERMAIN FITTINGS TO BE SUPPLIED WITH MECHANICAL JOINT RESTRAINTS. FOR WATERMAIN PIPE SIZES 150mmØ OR LESS ALL PIPE JOINTS TO BE RESTRAINED WITHIN 5.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. FOR WATERMAIN PIPE SIZES GREATER THAN 150mmØ ALL PIPE JOINTS TO BE RESTRAINED WITHIN 10.0m FROM ALL FITTINGS, IN EACH DIRECTION, UNLESS SHOWN OTHERWISE ON THE CONTRACT DRAWINGS. ALL TEES TO HAVE MINIMUM 2.0m SOLID PIPE LENGTH ON EACH RUN OF THE TEE, OR PROVIDE A THRUST BLOCK PER OPSD 1103.010.
- 4.4. ALL METALLIC FITTINGS (EXCLUDING CURB/MAIN STOP AND BRASS FITTINGS) AND APPURTENANCES INCLUDING SADDLES, VALVES, TEES, BENDS ETC ARE TO BE WRAPPED WITH AN APPROVED PETROLATUM SYSTEM CONSISTING OF PASTE, MASTIC AND TAPE. PARTICULAR ATTENTION SHALL BE PAID TO ANODE INSTALLATION. CONTRACTOR TO REFER TO THE MOST RECENT EDITION OF THE LOCAL MUNICIPALITY AREA PUBLIC UTILITIES DESIGN GUIDELINES AND SUPPLEMENTAL SPECIFICATIONS FOR MUNICIPAL SERVICES.
- 4.5. MAIN STOPS, CURB STOPS AND COUPLINGS SHALL BE AWWA C-800 COPPER TO COPPER FLANGED OR COMPRESSION CONNECTION OR APPROVED EQUIVALENT.
- 4.6. SERVICE BOXES TO BE FERGUSON ECLIPSE TYPE FIGURE 222 SIZE NO. 9 OR APPROVED EQUIVALENT COMPLETE WITH ROD AND PLUG.
- 4.7. WATER CONNECTIONS MAY BE PLACED IN THE SAME TRENCH WITH A STORM OR SANITARY CONNECTION ONLY IF A MINIMUM VERTICAL SEPARATION OF 500mm IS MAINTAINED BETWEEN THE WATER SERVICE AND ANY OTHER PIPE, IN ACCORDANCE WITH SECTION 7.3.5.7.(2)(a)(i) OF THE ONTARIO BUILDING CODE.
- 4.8. ALL WATERMANS AND SERVICES TO HAVE MINIMUM 2.0m COVER ON TOP OF PIPE, WHERE COVER TO TOP OF PIPE IS DEFICIENT. CONTRACTOR SHALL CONTACT DESIGN ENGINEER FOR "WATER PIPE INSULATION DETAIL".
5. EROSION AND SEDIMENT CONTROL
- 5.1. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED AND ALL

DISTURBED GROUND SURFACES HAVE BEEN RESTABILIZED EITHER BY PAVING OR RESTORATION OF VEGETATIVE COVER

- 5.2. ALL SEDIMENT CONTROL FENCING TO BE INSTALLED PRIOR TO ANY AREA GRADING, EXCAVATING OR DEMOLITION COMMENCING.
- 5.3. EROSION CONTROL FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES. ALL STOCKPILES TO BE KEPT 2.5m MINIMUM FROM PROPERTY LINE.
- 5.4. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MHS AND Cbs.
- 5.5. CONSTRUCTION ACCESS (MUD MAT) TO BE PROVIDED ON-SITE AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES EXIT THE SITE. CONSTRUCTION ACCESS (MUD MAT) SHALL BE A MINIMUM OF 3.0m WIDE, 15.0m LONG (LENGTH MAY VARY DEPENDING ON SITE LAYOUT) AND 0.3m DEEP AND SHALL CONSIST OF 200mm CLEAR STONE MATERIAL OR APPROVED EQUIVALENT. PROPOSED EROSION FENCING TO TIE INTO MUD MAT. CONTRACTOR TO ENSURE ALL VEHICLES LEAVE THE SITE VIA THE MUD MAT AND THAT THE MAT IS MAINTAINED IN A MANNER TO MAXIMIZE EFFECTIVENESS AT ALL TIMES.
- 5.6. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
- 5.7. EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN RESTABILIZED.
- 5.8. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER AND THE LOCAL MUNICIPALITY'S DEPARTMENT OF PUBLIC WORKS.
- 5.9. CONTRACTOR TO CLEAN ROADWAY AND SIDEWALKS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.
- 5.10. CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION FENCING PRIOR TO COMPLETION OF PROJECT. CONTRACTOR TO HAVE EROSION AND SEDIMENTATION FENCE INSPECTED WHEN VEGETATION HAS ESTABLISHED, BUT PRIOR TO FENCE BECOMING OVERGROWN. ENGINEER'S REPRESENTATIVE TO DETERMINE IF VEGETATION HAS REACHED THE CRITICAL POINT AND WILL THEN INSTRUCT CONTRACTOR TO REMOVE FENCE.

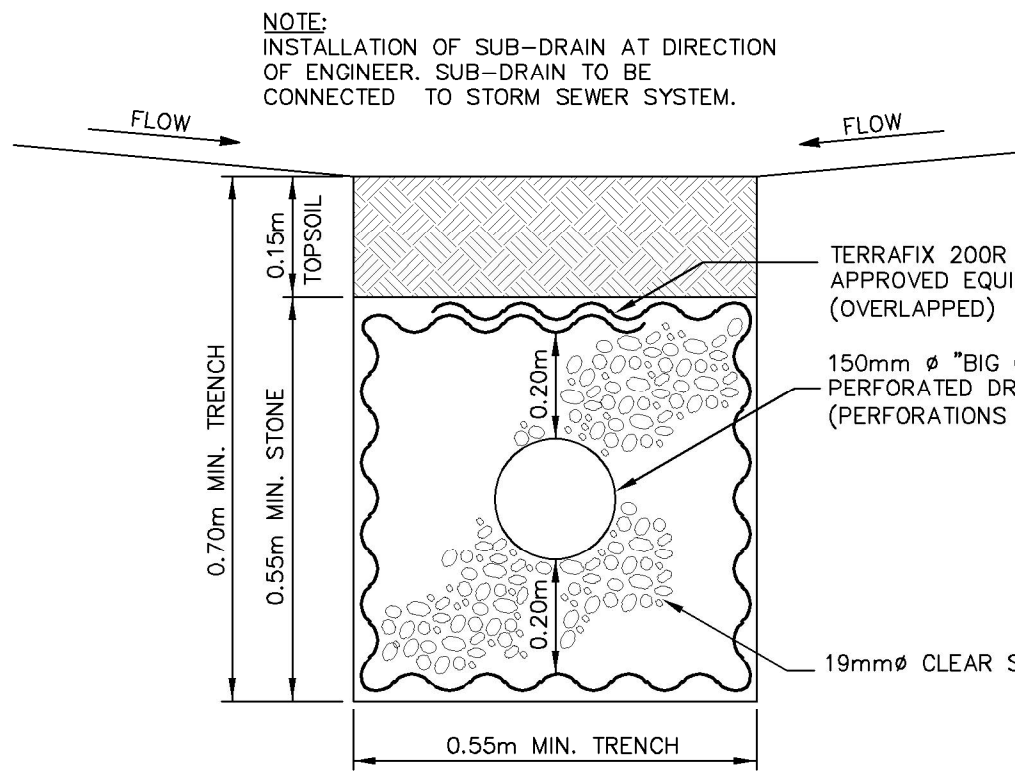
6. MAINTENANCE RECOMMENDATIONS

- 6.1. DURING THE COURSE OF CONSTRUCTION CONTRACTOR TO REMOVE SEDIMENT AND CONTAMINANTS FROM STORMWATER MANAGEMENT FACILITIES MONTHLY. FOLLOWING CONSTRUCTION CONTRACT COMPLETION, OWNER TO HIRE QUALIFIED CONTRACTOR TO REMOVE SEDIMENT AND CONTAMINANTS ANNUALLY AND REINSTATE STORMWATER MANAGEMENT FACILITIES ACCORDING TO THE DESIGN OUTLINED ON THIS PLAN, AS REQUIRED.
- 6.2. EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/3 THE HEIGHT OF THE FENCE.
- 6.3. OWNER'S REPRESENTATIVE TO MONITOR EROSION CONTROL STRUCTURES TO ENSURE FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO CITY REQUIREMENTS.
- 6.4. THE PROPOSED SNOUTS WILL REQUIRE REGULAR MAINTENANCE DURING AND AFTER CONSTRUCTION IN ACCORDANCE WITH THE MAINTENANCE RECOMMENDATIONS OUTLINED IN SNOUT BEST MANAGEMENT PRODUCTS INC. DOCUMENT. THIS INCLUDES BUT IS NOT LIMITED TO REMOVAL OF SEDIMENT FROM THE SUMP, REMOVAL OF FLOATABLES AND TRASH AND ANNUAL INSPECTION OF THE ANTI-SIPHON VENT, ACCESS HATCH AND TRASH SCREEN. OWNER TO ENTER INTO A MAINTENANCE AGREEMENT WITH A SUITABLE CONTRACTOR TO COMPLETE THIS WORK.

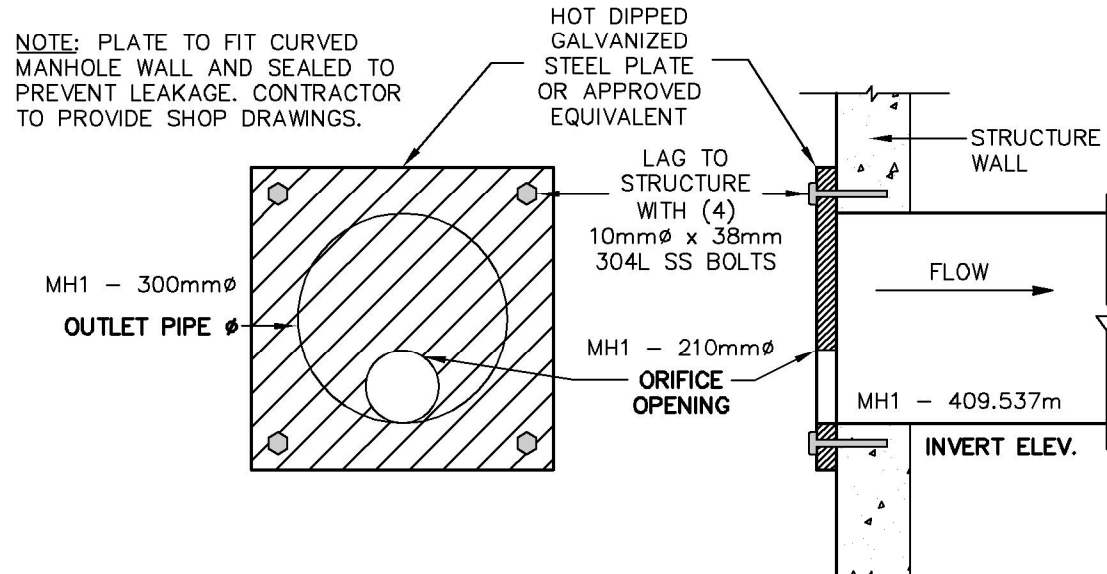
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- 4.2. WATER SERVICE CONNECTIONS 50mmØ AND SMALLER, SHALL BE TYPE "K" SOFT COPPER ASTM B88, ALUMINUM COMPOSITE CSA B137.10, OR HDPE SERIES 160 AWWA C 901 WITH WATER SERVICE SADDLE. COPPER SERVICE SHALL HAVE 5.5kg ANODE.
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- 4.4. ALL METALLIC FITTINGS (EXCLUDING CURB/MAIN STOP AND BRASS FITTINGS) AND APPURTENANCES INCLUDING SADDLES, VALVES, TEES, BENDS ETC ARE TO BE WRAPPED WITH AN APPROVED PETROLATUM SYSTEM CONSISTING OF PASTE, MASTIC AND TAPE. PARTICULAR ATTENTION SHALL BE PAID TO ANODE INSTALLATION. CONTRACTOR TO REFER TO THE MOST RECENT EDITION OF THE LOCAL MUNICIPALITY AREA PUBLIC UTILITIES DESIGN GUIDELINES AND SUPPLEMENTAL SPECIFICATIONS FOR MUNICIPAL SERVICES.
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5. EROSION AND SEDIMENT CONTROL

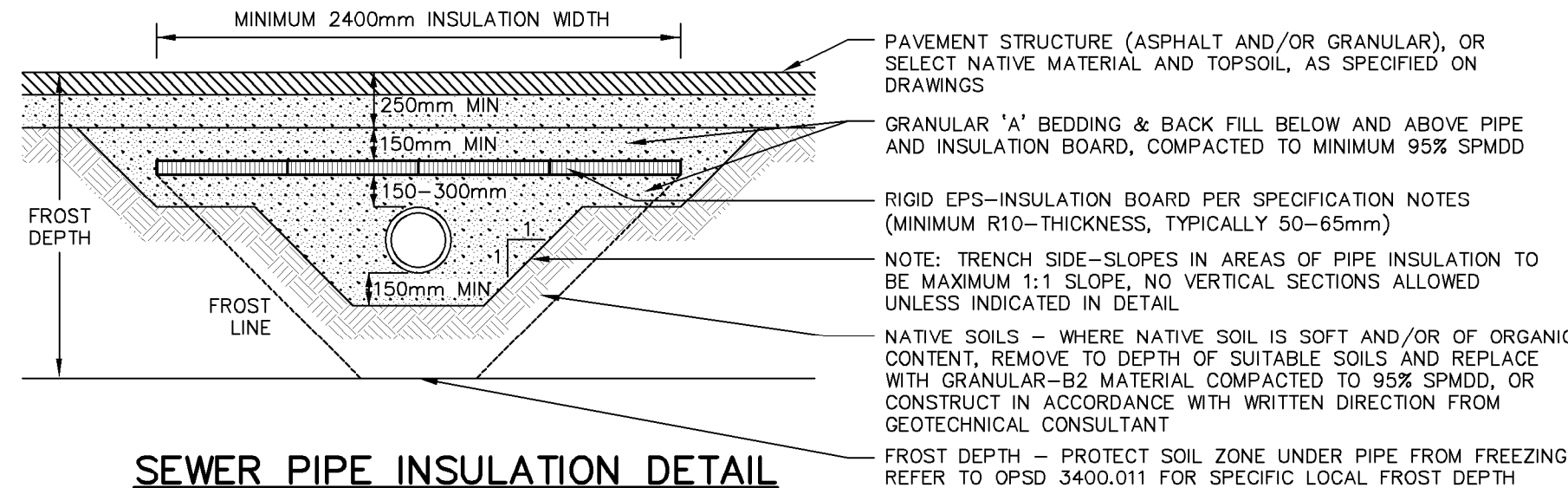
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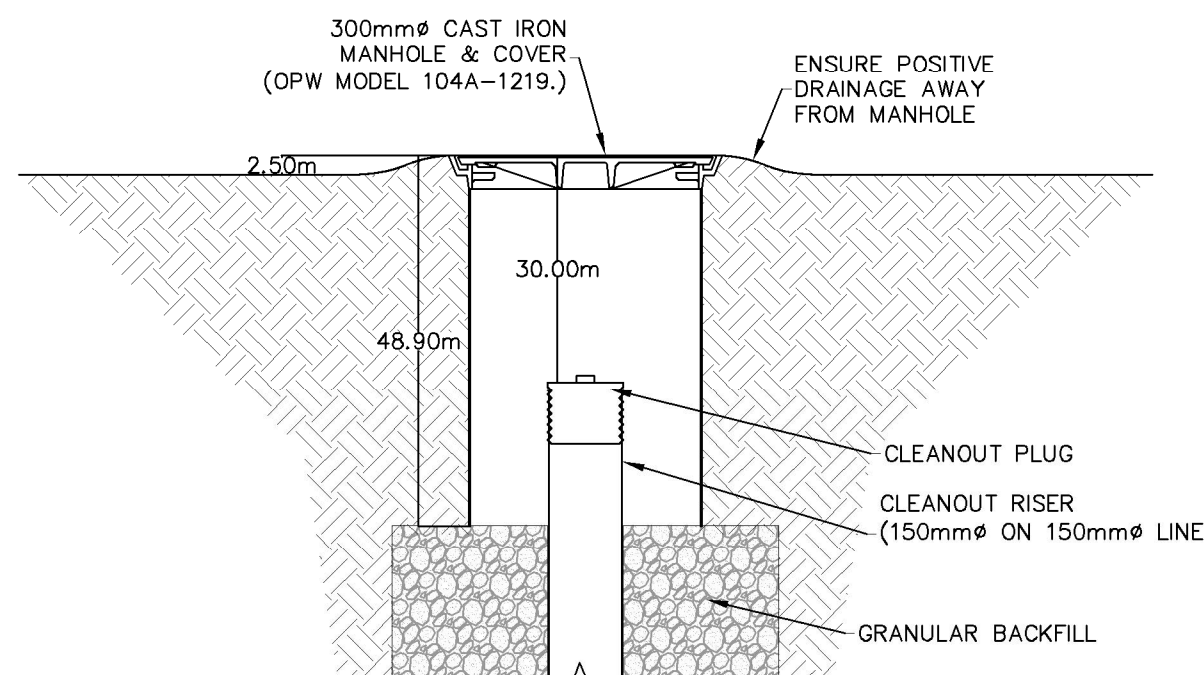
PERFORATED SUB-DRAIN DETAIL
N.T.S.



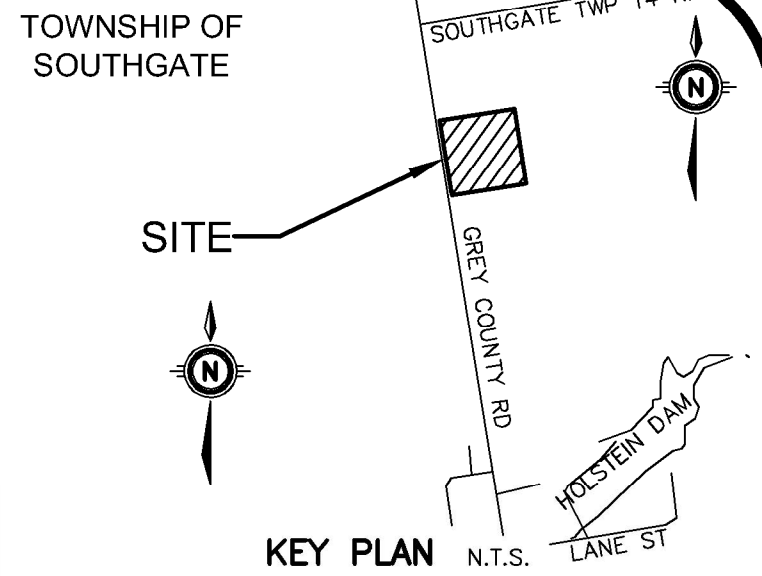
ON-LINE ORIFICE DETAIL
N.T.S.



SEWER PIPE INSULATION DETAIL
FOR SEWER PIPES HAVING LESS THAN 1400mm COVER AND MINIMUM 615mm COVER
N.T.S.



INSTALLATION OF CLEANOUTS
IN LANDSCAPED AREAS



GEODETIC BM ELEV. = 402.137m
HOLSTEIN CONCRETE HIGHWAY BRIDGE OVER BEAUTY SAUGLEN RIVER IN VILLAGE, TABLE IN N. FACE OF S. CONCRETE RETAINING WALL AT E. SIDE OF BRIDGE, 4.02m FROM E. EDGE OF BRIDGE, 1.16m BELOW TOP OF RETAINING WALL.

SITE BENCHMARK ELEV. = N/A
SEE ABOVE.

NOTE TO CONTRACTOR :
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CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

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THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

NOTE:
1. PROPERTY-LINE IS APPROXIMATE ONLY.
2. PLAN TO BE READ IN CONJUNCTION WITH C1.1, C2.1, C2.2, C2.3 AND SWM REPORT.

8.			
7.			
6.			
5.			
4.	RE-ISSUED FOR SPA	AXT	2022-01-14
3.	ISSUED FOR PERMIT	AXT	2021-12-15
2.	ISSUED FOR SPA	CMX	2021-11-12
1.	ISSUED FOR INFORMATION	LXS	2018-09-10
No. REVISION		BY	YYYY-MM-DD



Engineers, Scientists, Surveyors

(519) 743-6500

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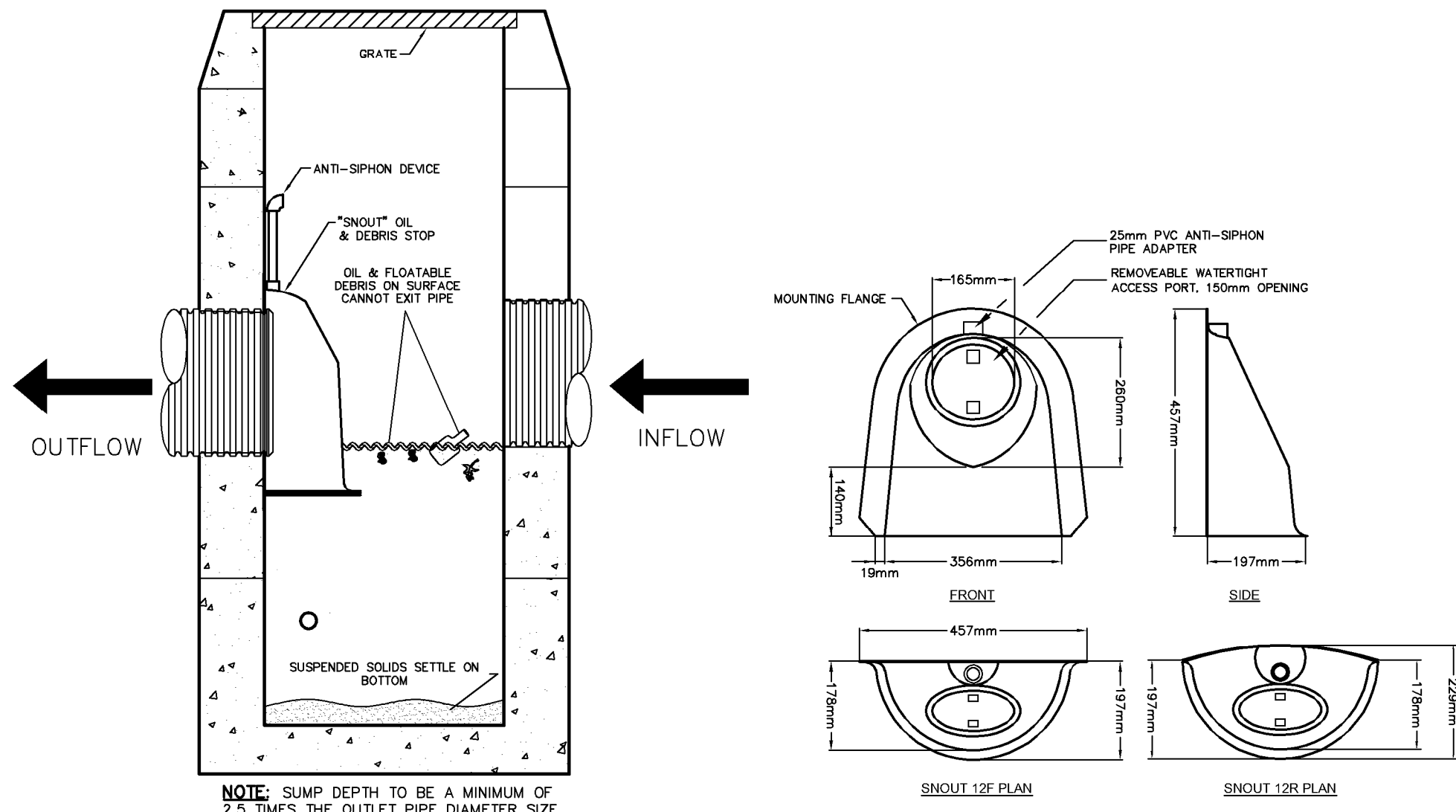
CLIENT
SRM ARCHITECTS INC.
279 KING STREET WEST SUITE 200 KITCHENER
PROJECT
EGREMONT COMMUNITY SCHOOL
NEW CHILDCARE FACILITY
GREY ROAD 109 HOLSTEIN, SOUTHGATE
DRAWING

DETAILS AND NOTES PLAN 1

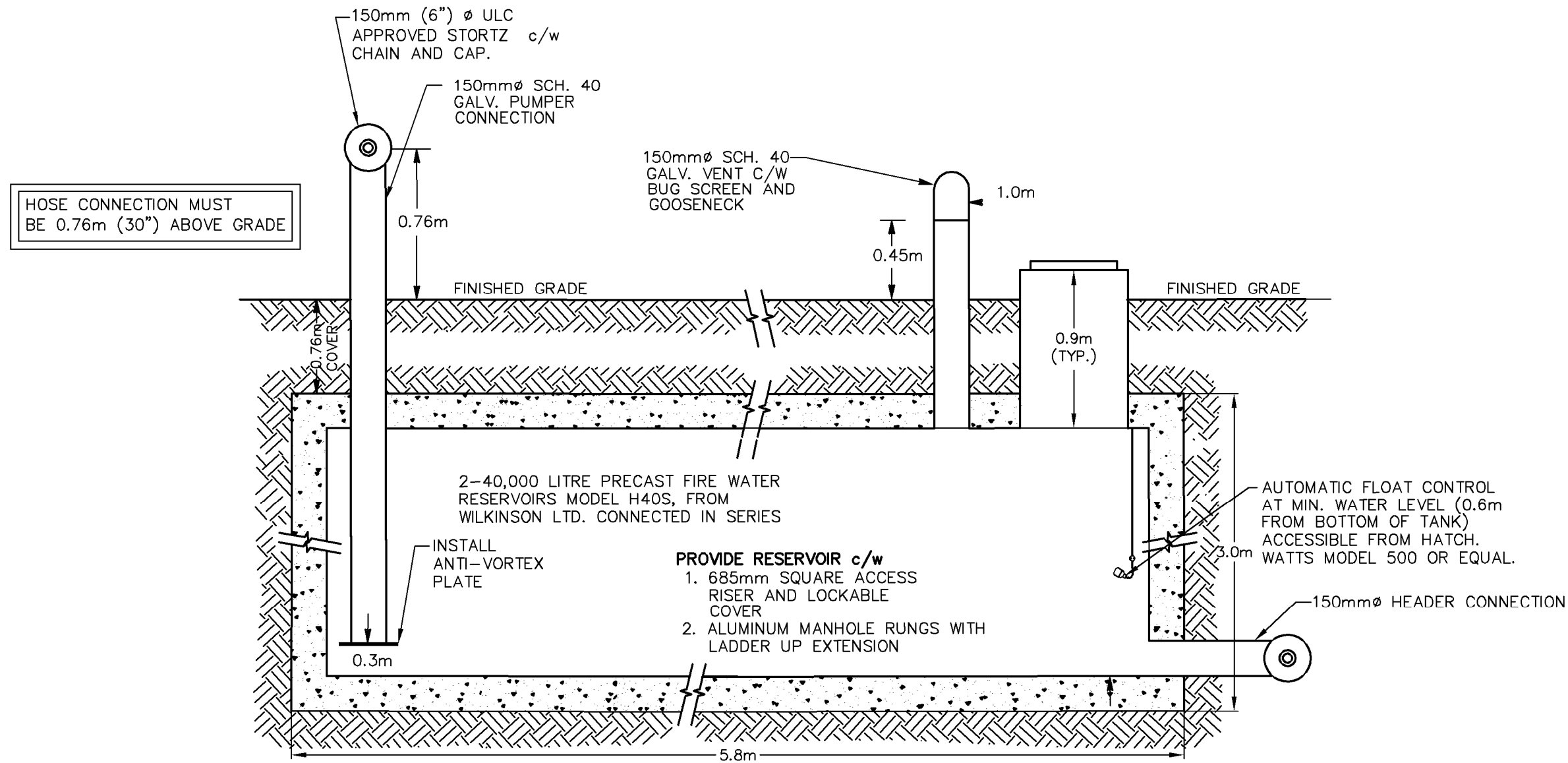
Project Manager A.TCHOUMATCHEV	Project No. 44550-100
Design By CXM	Checked By LEI
Drawn By AXB/GLC	Checked By CXM/AXT
Surveyed By MTE/OLS	Drawing No. C2.2
Date Oct.03/18	Scale 1:400
Sheet 3 of 4	

Drawing #3 Dated March 16, 2022

CONSTRUCTION NOTES AND SPECIFICATIONS

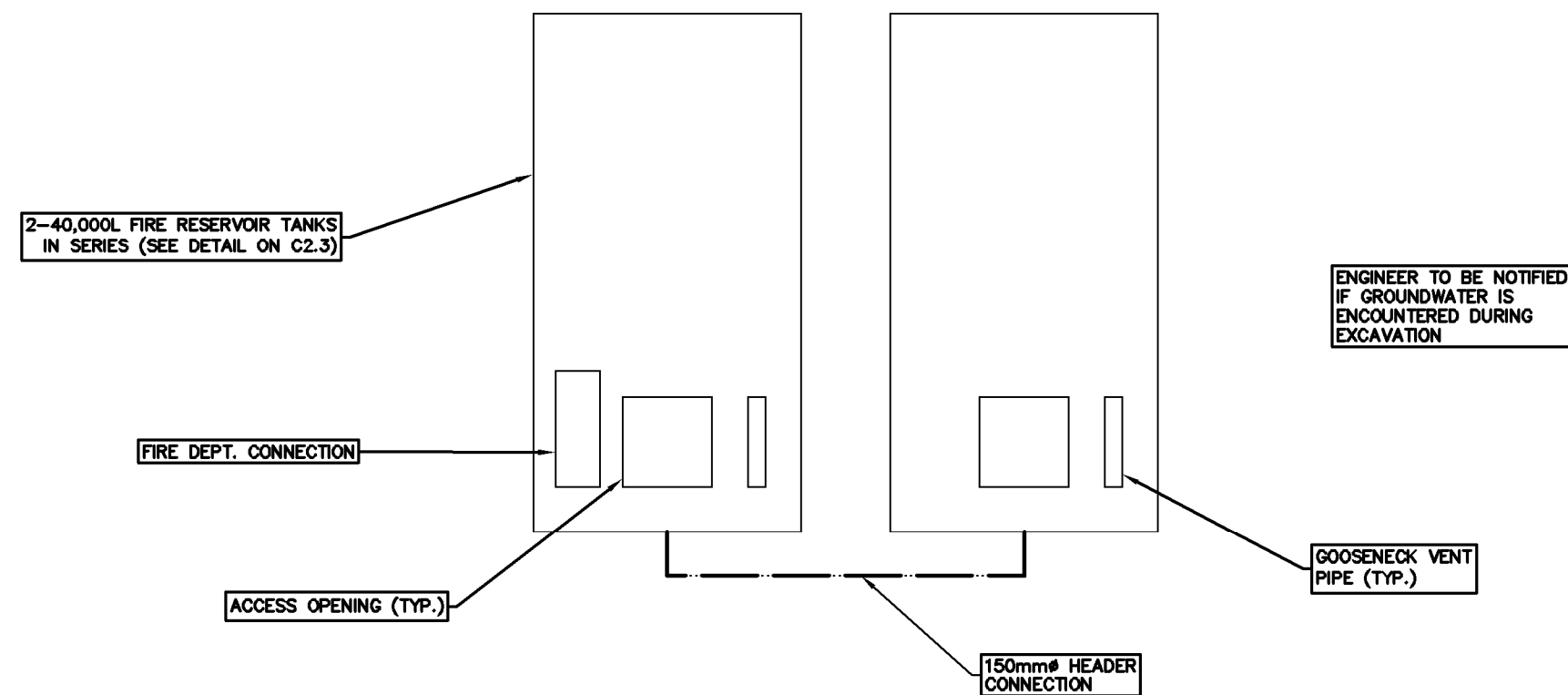


SNOUT DETAIL
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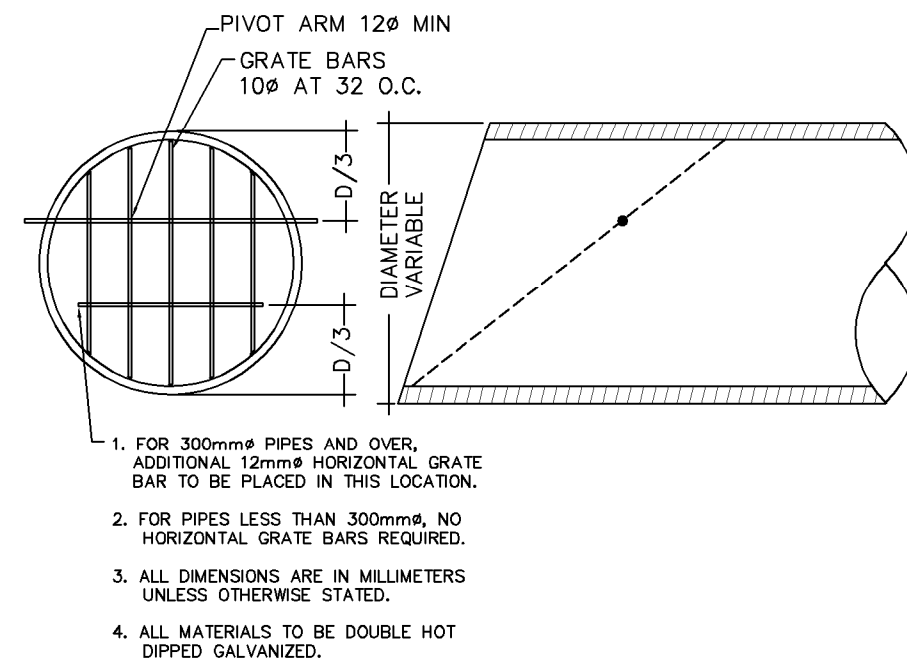


FIRE RESERVOIR DETAIL
N.T.S.

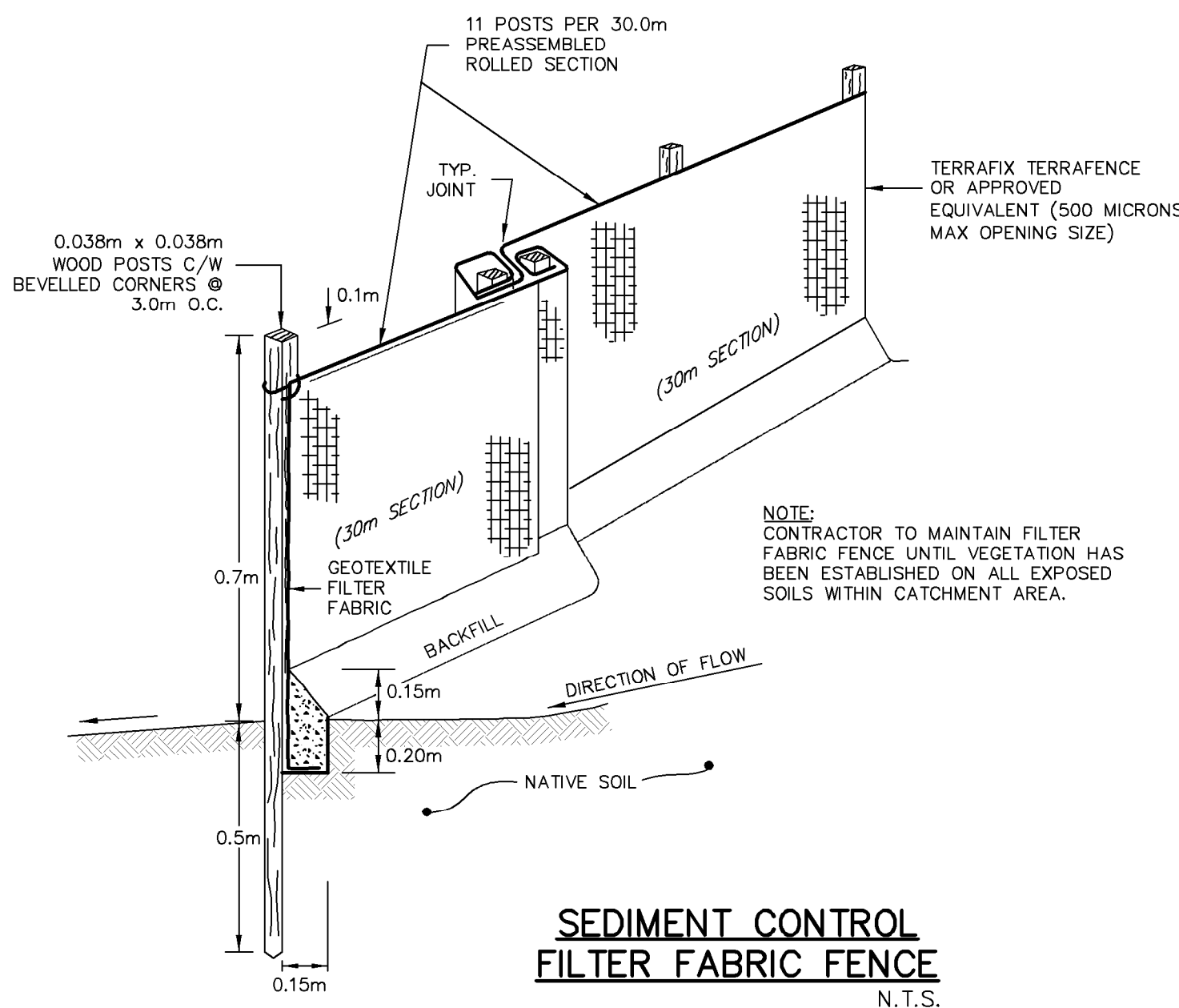
NOTE: FIRE RESERVOIR
TANKS SIZED BY ARCHITECT



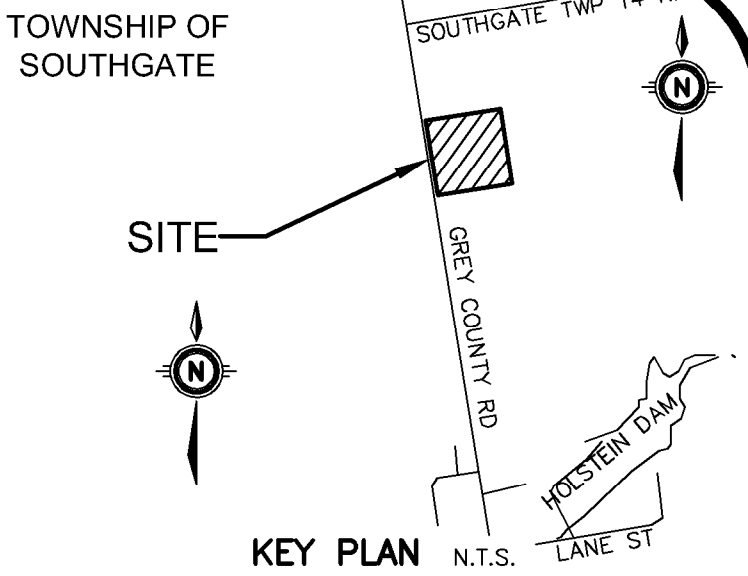
FIRE RESERVOIR
N.T.S.



RODENT GRATE DETAIL
N.T.S.



SEDIMENT CONTROL
FILTER FABRIC FENCE
N.T.S.



GEODETIC BM ELEV. = 402.137m
HOLSTEIN CONCRETE HIGHWAY BRIDGE OVER BEAUTY SAUGLEN RIVER IN VILLAGE, TABLET IN N. FACE OF S. CONCRETE RETAINING WALL AT E. SIDE OF BRIDGE, 4.02m FROM E. EDGE OF BRIDGE, 1.16m BELOW TOP OF RETAINING WALL.

SITE BENCHMARK ELEV. = N/A
SEE ABOVE.

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8.			
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6.			
5.			
4.	RE-ISSUED FOR SPA	AXT	2022-01-14
3.	ISSUED FOR PERMIT	AXT	2021-12-15
2.	ISSUED FOR SPA	CXM	2021-11-12
1.	ISSUED FOR INFORMATION	LXS	2018-09-10
No. REVISION		BY	YYYY-MM-DD



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CLIENT
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279 KING STREET WEST SUITE 200 KITCHENER
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GREY ROAD 109 HOLSTEIN, SOUTHGATE
DRAWING

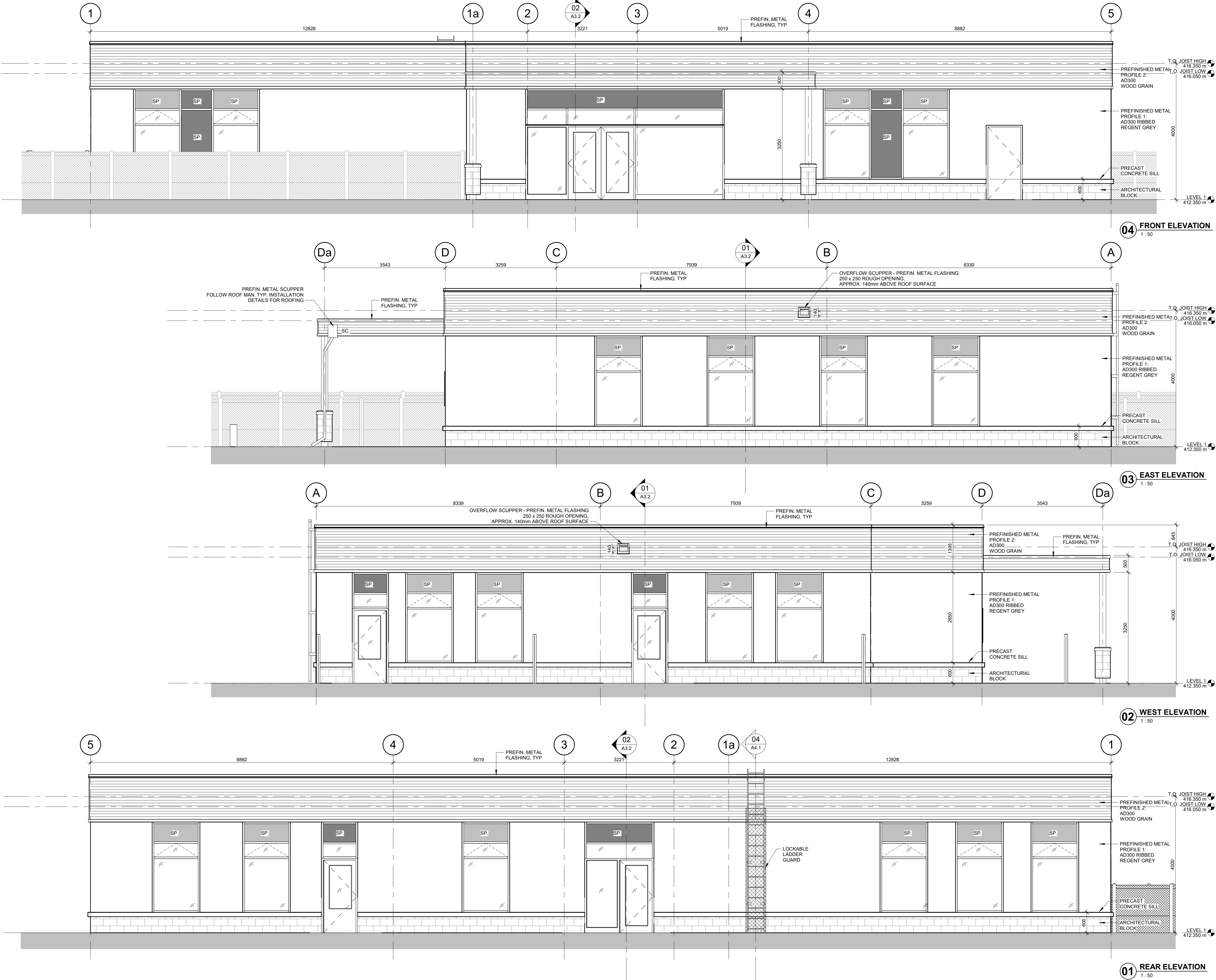
DETAILS AND NOTES PLAN 2

Project Manager A.TCHOUMATCHEV	Project No. 44550-100
Design By CXM	Checked By LEI
Drawn By AXB/GLC	Checked By CXM/AXT
Surveyed By MTE/OLS	Drawn No. C2.3
Date Oct.03/18	Scale 1:400
Sheet 4 of 4	

Drawing #4 Dated March 16, 2022

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19	2022-01-14	ISSUED FOR SPA 2ND SUBMISSION
16	2021-12-14	ISSUED FOR BUILDING PERMIT
12	2021-11-12	ISSUED FOR SPA
6	NOV 19/18	COORDINATION

No.	Date	Revision
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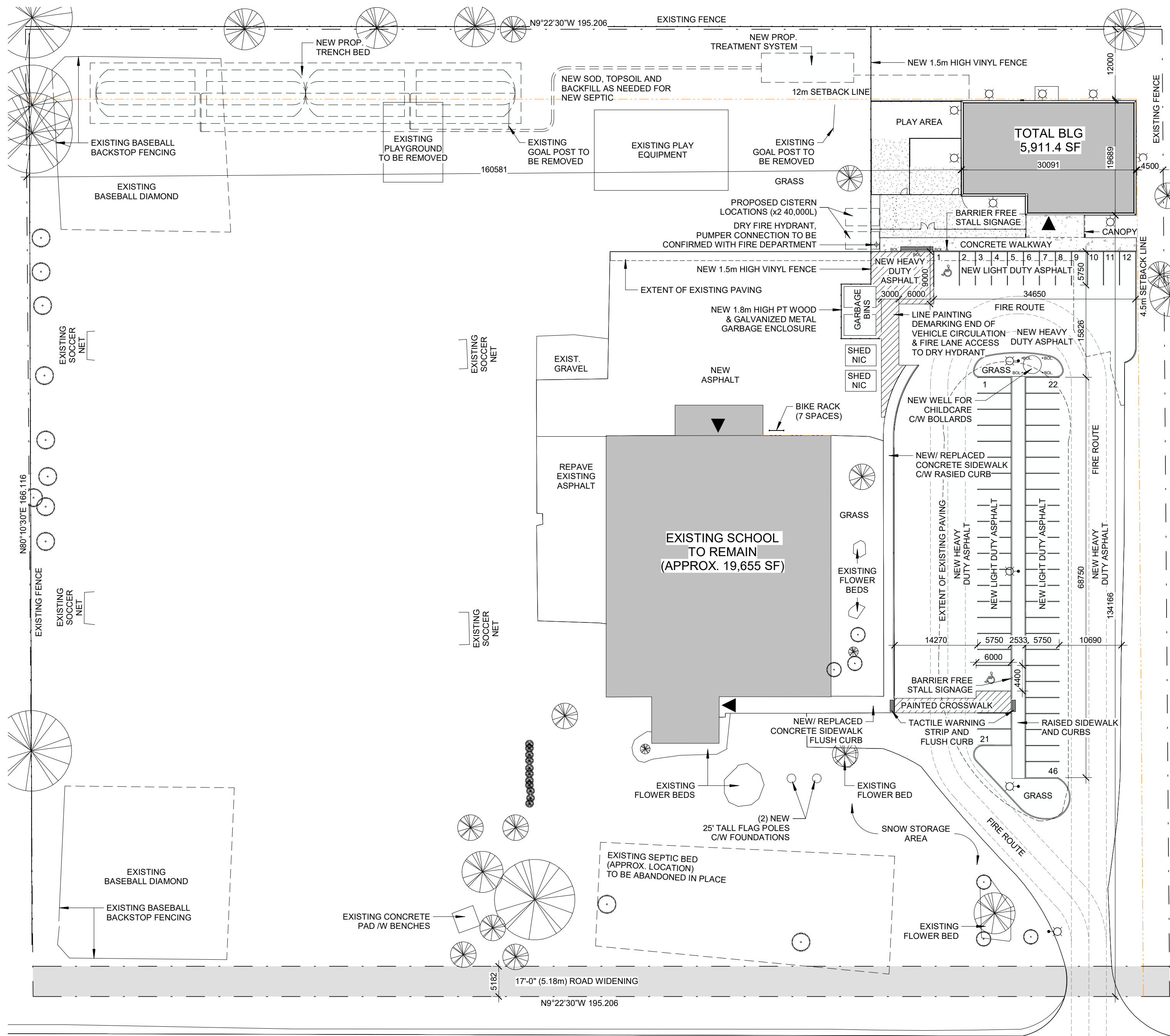
**BWDSB
EGREMONT SCHOOL
CHILDCARE**

ELEVATIONS

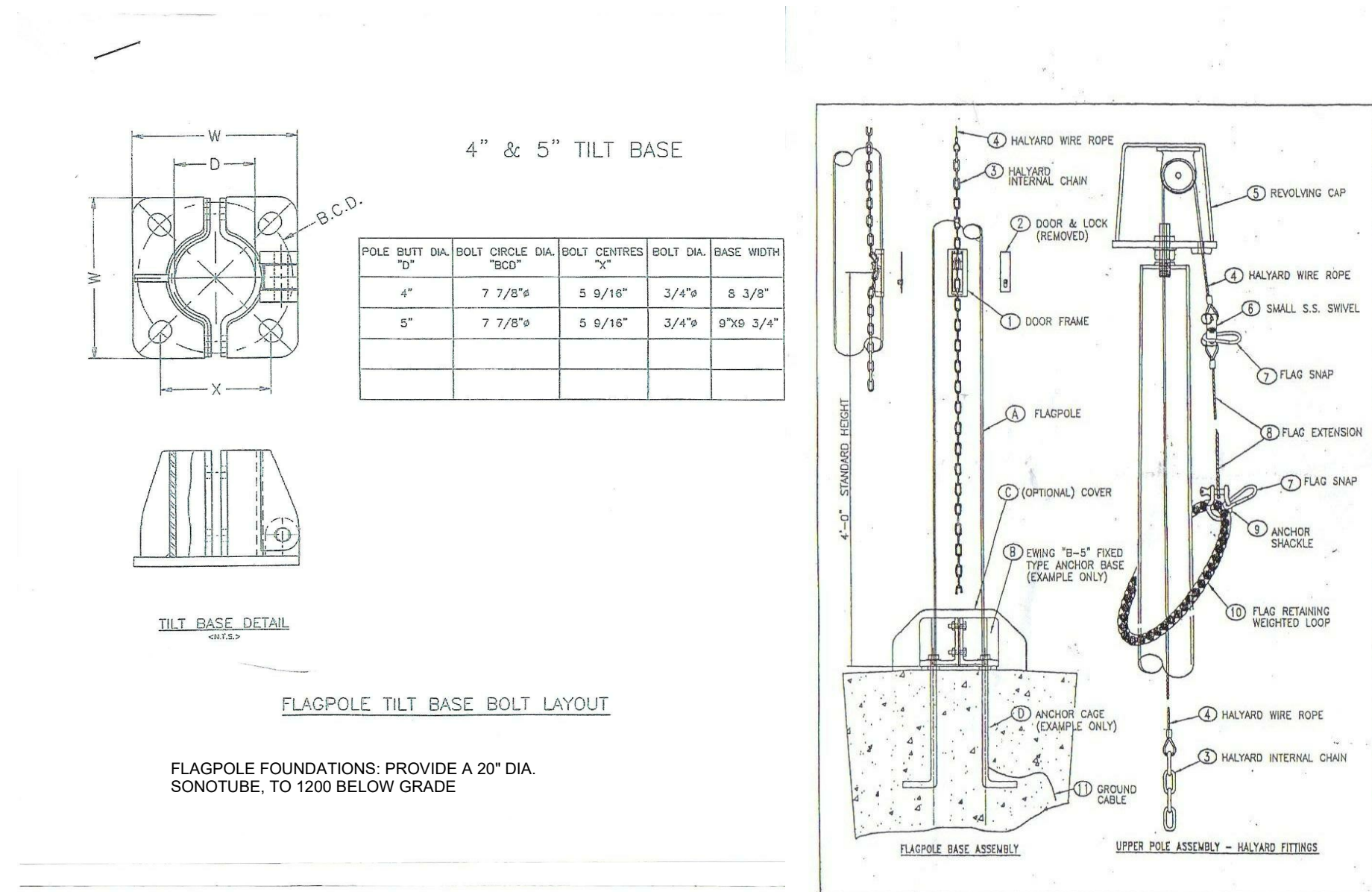
Drawing Scale	As indicated
Status	
Drawing No.	Revision No.

A3.1 - r19

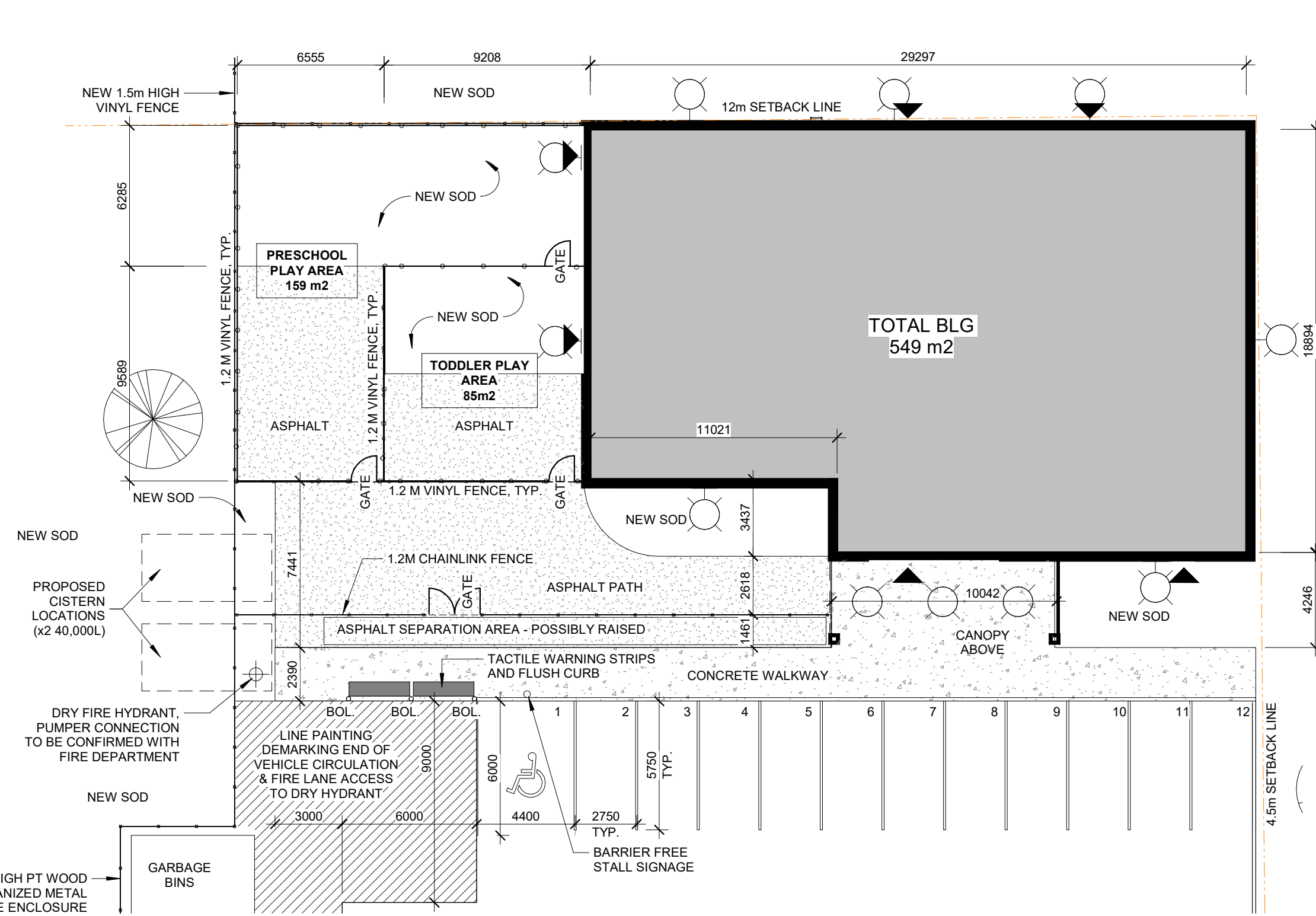
C:\Users\mshelley\Documents\18109 - Bluewater - EGR Childcare, Holstein - V6_mshelley\SRM.rvt



01 OVERALL SITE PLAN
1:500



03 7.62m (25'-0") FLAG POLE AND BASE
1:25



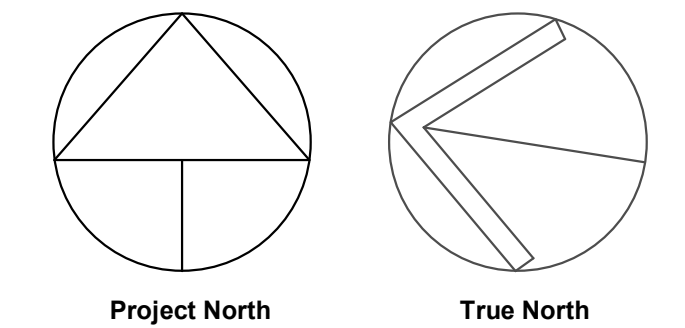
02 DETAILED SITE PLAN
1:200

SITE DATA		
Grey County Road 109, Holstein, Ontario		
DATA	REQUIRED	PROVIDED
ZONING	CF - COMMUNITY FACILITY	
LOT AREA (m²)	2,000 (m²)	32,425 (m²)
LOT FRONTAGE (m)	30 (m)	195.2 (m)
FRONT YARD (meters)	23 (m)	23 (m)
INTERIOR SIDE YARD (m)	4.5 (m)	4.5 (m)
REAR YARD (m)	12 (m)	12 (m)

BUILDING DATA		
DATA	REQUIRED	PROVIDED
BUILDING AREA (m²)	N/A	549.2 (m²)
GROSS FLOOR AREA (m²)	N/A	549.2 (m²)
NUMBER OF STOREYS	N/A	1
BUILDING HEIGHT (m)	N/A	4.0 (m)

SITE COVERAGE		
DATA	REQUIRED	PROVIDED
LOT COVERAGE (percentage)	35 (%) MAX.	7.7 (%)
COVERAGE AREA (m²)	11,348.75 (m²) MAX.	2,492 (m²)

VEHICLE PARKING DATA - CHILD CARE ONLY		
DATA	REQUIRED	PROVIDED
PARKING REQUIREMENTS	1.5/ CLASSROOM + 1/ 6.0m² OF GYM = 9 CLASSROOMS X 1.5 + 195m²/ 6 = 13.5 + 32.5 TOTAL = 46	46
BARRIER FREE PARKING (INCL.)	2	2
TOTAL		46

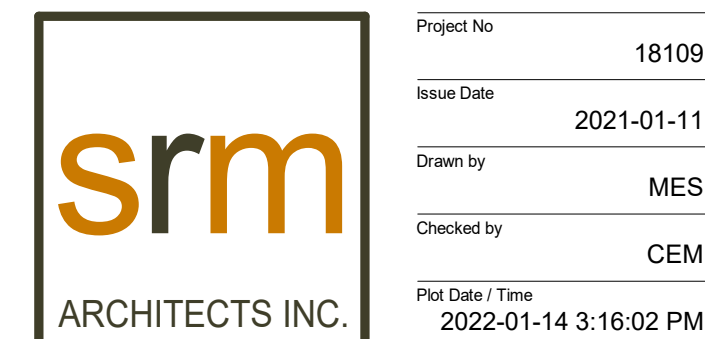
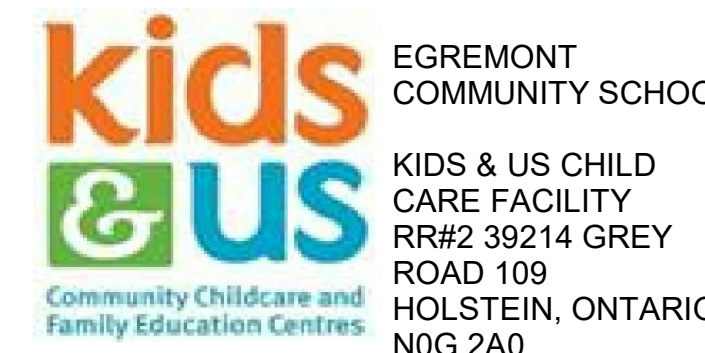


SITE LEGEND	
---	PROPERTY LINE
---	SET BACK LINE
▼	BUILDING ENTRANCE / EXIT
HP	HYDRO POLE
LP	LIGHT POLE
CB	CATCH BASIN
MH	MAN HOLE
FH	FIRE HYDRANT
GM	GAS METER
FP	FLAG POLE
BOL	NEW BOLLARD
○	CEILING OR WALL MOUNTED LIGHT FIXTURE
○	POLE MOUNTED LIGHT FIXTURE

NOTE: CONTRACTOR TO PROVIDE FOR 10 NO PARKING FIRE ROUTE SIGNS. LOCATIONS TO BE DETERMINED WITH THE FIRE DEPARTMENT.

19	2022-01-14	ISSUED FOR SPA 2ND SUBMISSION
17	2022-01-07	SPA COORDINATION
16	2021-12-14	ISSUED FOR BUILDING PERMIT
15	2021-11-30	COORDINATION
12	2021-11-02	ISSUED FOR SPA
11	2021-11-09	UPDATE
10	2021-11-09	COORDINATION
9	2021-11-04	COORDINATION
7	2018-12-14	UPDATED FOR COMMENTS
6	NOV 19/18	COORDINATION
5	OCT 22/18	UPDATED FOR COMMENTS
4	OCT 4/18	MINOR REVISIONS
3	SEPT 24/18	CLIENT REVIEW
2	SEPT 11/18	MINOR REVISIONS
1	SEPT 7/18	FOR REVIEW

No.	Date	Revision
-----	------	----------



Project No.	18109
Issue Date	2021-01-11
Drawn by	MES
Checked by	CEM
Plot Date / Time	2022-01-14 3:16:02 PM

BWDSB
EGREMONT SCHOOL
CHILDCARE

SITE PLANS

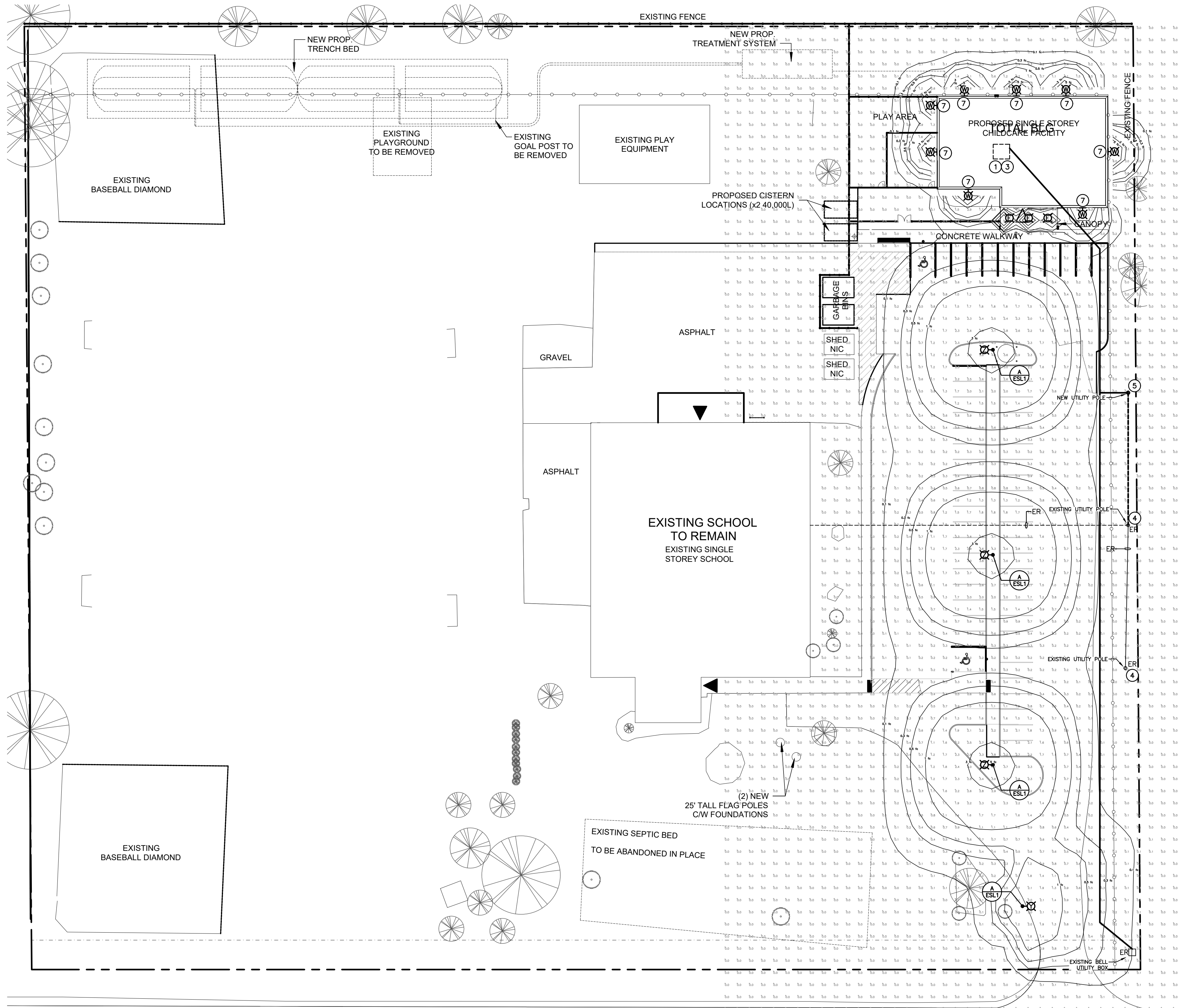
Drawing Scale	As indicated
Status	
Drawing No.	Revision No.

ONTARIO ASSOCIATION OF ARCHITECTS
EDWARD THOMAS
LICENCE 5572

A1.1 - r19



The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of services from Consultant before commencement of the work. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2021 DEI & Associates Inc.



SITE PLAN PHOTOMETRICS
SCALE: 1:400

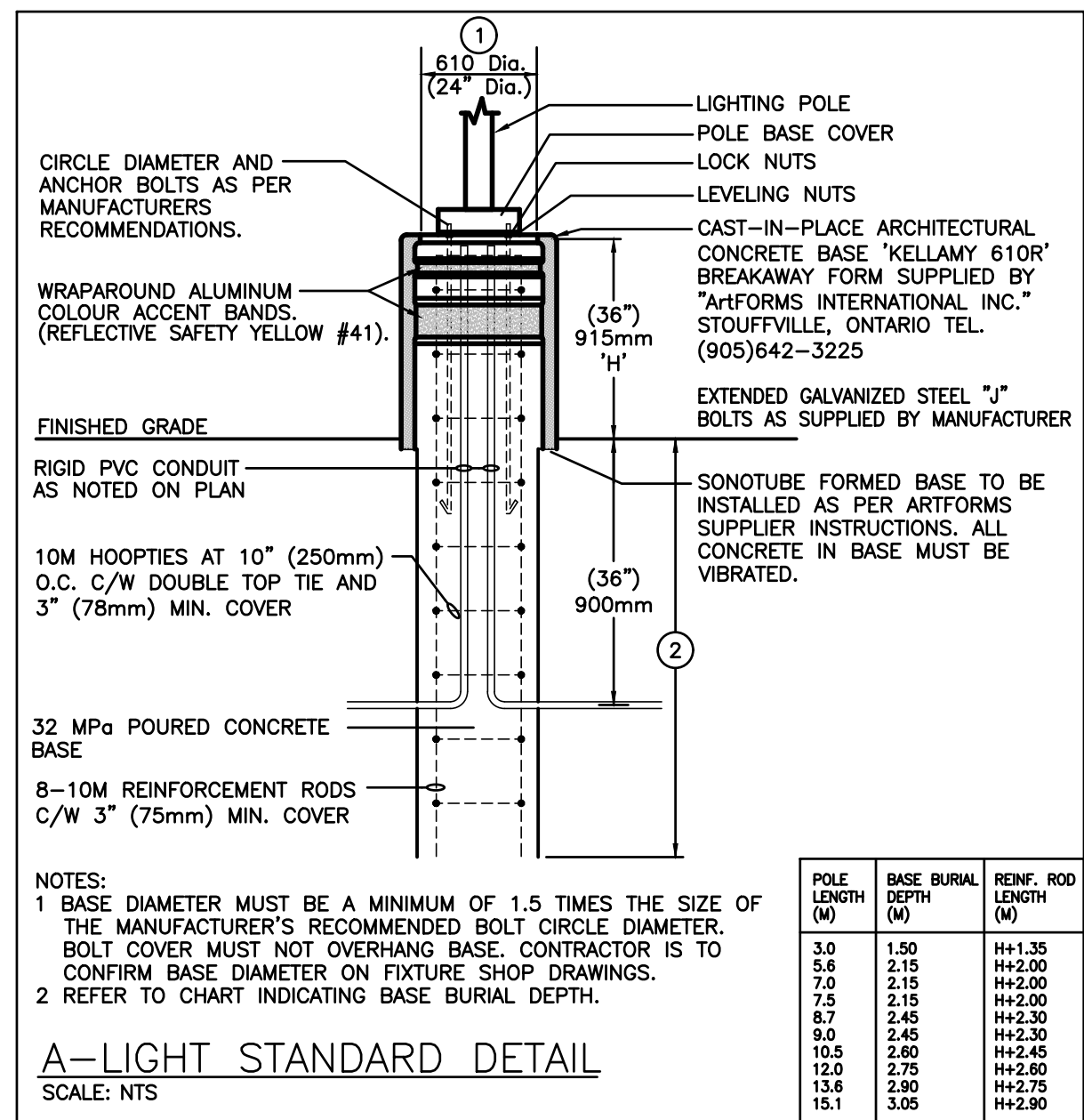
Clinton Stredwick
REGISTERED PROFESSIONAL PLANNER
R.P.P.
CLINTON G STREDWICK
PLANNERS URBANISTES
MCIP MCQU

Drawing #7 Dated March 16, 2022

ELECTRICAL SYMBOLS		NOTE: ALL SYMBOLS MAY NOT BE USED	
LIGHTING		GENERAL	
	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED	ER	INDICATES EXISTING ITEM TO REMAIN
	POLE MOUNTED LIGHT FIXTURE	D	INDICATES EXISTING ITEM TO BE DELETED
STANDARD CIRCUITING LABELING		R	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
		(X)	NOTE INDICATOR
		(X/V)	DETAIL INDICATOR
		+xx	PHOTOMETRIC LEVEL (fc)

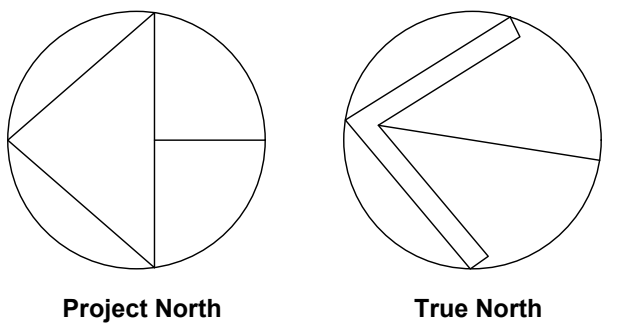
SITE NOTES

- INDICATES APPROXIMATE LOCATION OF MAIN ELECTRICAL/METER ROOM.
- INDICATES CUSTOMER OWNED UTILITY POLE. CONNECTION TO POLE BY LOCAL UTILITY.
- INDICATES APPROXIMATE LOCATION OF MAIN TELECOMMUNICATIONS ROOM.
- INDICATES EXISTING UTILITY POLE. REFER TO ELECTRICAL SERVICE SCOPE OF WORK FOR ADDITIONAL INFORMATION.
- INDICATES NEW UTILITY POLE. NO SERVICE SCOPE OF WORK ON THIS PROJECT.
- INDICATES APPROXIMATE LOCATION OF BELL PEDESTAL FOR COMMUNICATION SERVICES.
- INDICATES WALLPACK TO BE MOUNTED AT ELEVATION AS NOTED ON ARCHITECTURAL ELEVATIONS. REFER TO ARCHITECTURAL DRAWINGS.

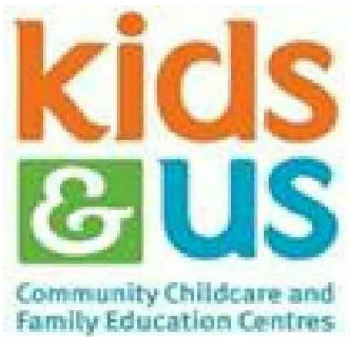


LED LIGHT FIXTURE SCHEDULE

Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	Description
E	COOPER CAT. #LD6B-10-D010TR C/W EUB6-1020-80-40 C/W 6LB-M-0-XX-LSKTBIP66 LITHONIA CAT. #LDN6-40-10-L06-AR-LS-120-EZ10 JUNO CAT. #L6-13-40-1-G2-L600P-C-Q-WH-WET LIGHTOLIER CAT. #6RN-P6RDL10840CC2104	120V	LED 1,000 LUMENS 4000K 11W	RECESSED	RECESSED 6" (150mm) DIAMETER LED DOWNLIGHT C/W SELF-FLANGED WIDE BEAM REFLECTOR, SEMI-SPECULAR CLEAR FINISH, WET LOCATION LISTING, AND TRIM FINISH TO SUIT ARCHITECT.
W	COOPER CAT. #XTOR2B-W-XX KEENE CAT. #LPW-16-20-NW-G3-4-120-XX LITHONIA CAT. #MPX1 LED P2 40K 1WVOLT DDBXD	120V	LED 2,103 LUMENS 4000K 18W	SURFACE	COMPLETE CUT OFF TRAPEZOIDAL LED WALLPACK FIXTURE C/W TYPE 3 DISTRIBUTION AND FINISH TO SUIT ARCHITECT. MOUNT FIXTURE AT HEIGHT AS INDICATED ON ARCHITECTURAL ELEVATIONS.
Y	MCGRAW-EDISON CAT. #GLEON-SA1A-740-U-T4FT-XX POLE CAT. #SSA-4-T-12-W	120V	LED 4,909 LUMENS 4000K 34W	SURFACE	POLE MOUNTED DECORATIVE LED FIXTURE C/W EXTRUDED ALUMINUM ENCLOSURE, LOW PROFILE DESIGN, TYPE '4' FORWARD THROW DISTRIBUTION OPTICS, 600mA DRIVER AND 12" (3.66m) POLE. ENTIRE ASSEMBLY SHALL HAVE FINISH TO SUIT ARCHITECT.
Z	MCGRAW-EDISON CAT. #GLEON-SA3A-740-U-5WQ-XX POLE CAT. #SSA-4-T-12-W LITHONIA CAT. #DSX1-LED-P9-40K-TSW-1WVOLT-SPA-DDBXD GARDOO CAT. #P26-48L-700-NW-G2-AR-5W-3-UNV-XX BEACON CAT. #NP-S/L SERIES	120V	LED 14,985 LUMENS 4000K 96W	POLE	POLE MOUNTED DECORATIVE LED FIXTURE C/W EXTRUDED ALUMINUM ENCLOSURE, LOW PROFILE DESIGN, TYPE '5' SQUARE WIDE DISTRIBUTION OPTICS, 600mA DRIVER AND 12" (3.66m) POLE. ENTIRE ASSEMBLY SHALL HAVE FINISH TO SUIT ARCHITECT.
NOTES:					
1 FOR INFORMATION REGARDING EQUAL MANUFACTURERS AND LENS INFORMATION REFER TO SPECIFICATION.					
2 LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS, LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.					



No.	Date	Revision
2	JAN 14/22	RE-ISSUED FOR SPA
1	NOV 12/21	ISSUED FOR SPA



CHESLEY, ONTARIO
N0G 1L0
Tel: 519-363-2014
Fax: 519-363-3448



Project No.	18109
Project Date	OCT, 2021
Drawn by	AB
Checked by	SD
Plot Date / Time	NOV, 2021

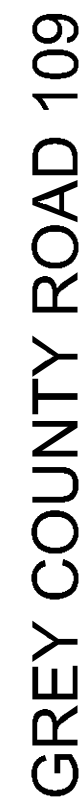
BWDSB
EGREMT SCHOOL
CHILDCARE

SITE LIGHTING PLAN

Drawing Scale	AS NOTED
Status	

REVIEW	
Drawing No.	Revision No.

ESL1



SITE BOUNDARY

EXISTING CONTOURS

Ex. 200mm WTM Ex. HYD. SET

EXISTING WATERMAIN

Ex. 375mm SM Ex. MH

EXISTING STORM SEWER

Ex. Drop Curb

EXISTING CURB

EXISTING BUILDING

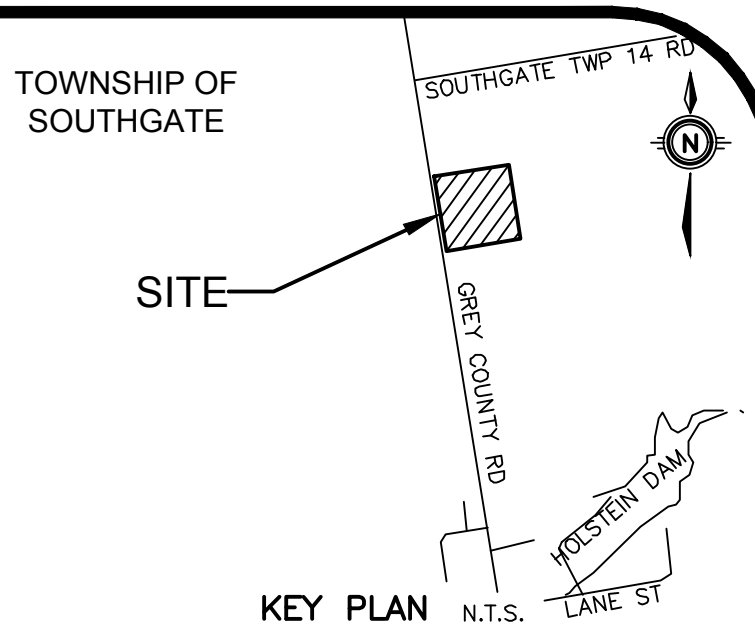
EXISTING FENCE

EXISTING MAIN DOOR

PROPOSED BUILDING

FENCE

SEDIMENT CONTROL FENCE
(SEE DETAIL)



GEODETIC BM HOLSTEIN CONCRETE HIGHWAY BRIDGE OVER BEATTY SAUGEN RIVER IN VILLAGE, TABLET IN N. FACE OF S. CONCRETE RETAINING WALL AT E. SIDE OF BRIDGE, 4.02m FROM E. EDGE OF BRIDGE, 1.16m BELOW TOP OF RETAINING WALL.	ELEV. = 402.137m
SITE BENCHMARK SEE ABOVE.	ELEV. = N/A

DO NOT SCALE DRAWINGS.

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS
AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE
PROCEEDING WITH THE WORK.

ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER
AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE
ENGINEER'S WRITTEN PERMISSION.

THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT
M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT
OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION.
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
AND PROPERTY OWNER TO INSURE PRIOR TO COMMENCEMENT
OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

1. PROPERTY--LINE IS APPROXIMATE ONLY.
2. PLAN TO BE READ IN CONJUNCTION WITH "TERTIARY DESIGN REPORT WASTEWATER TREATMENT AND DISPOSAL SYSTEM" (MTE, JUNE. 11/21).

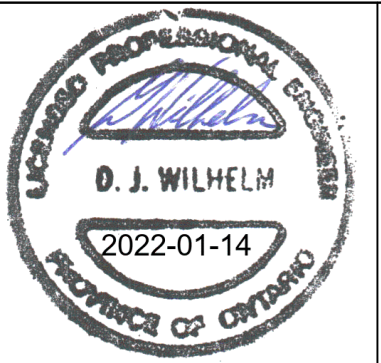
8.			
7.			
6.	REISSUED FOR SPA	DJW	JAN. 14/22
5.	ISSUED FOR PERMIT	DJW	DEC. 15/21
4.	ISSUED FOR SPA	DJW	NOV. 12/21
3.	ISSUED FOR ECA APPLICATION	DJW	JUNE. 11/21
2.	ISSUED FOR PRE-CONSULTATION	DJW	NOV. 02/18
1.	ISSUED FOR INFORMATION	LXS	SEPT. 10/18
No.	R E V I S I O N	BY	DATE



Engineers, Scientists, Surveyors

(519) 743-6500

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CLIENT

SRM ARCHITECTS INC.

279 KING STREET WEST SUITE 200 KITCHENER
PROJECT
EGREMONT COMMUNITY SCHOOL
NEW CHILDCARE FACILITY
GREY ROAD 109 HOLSTEIN; SOUTHGATE

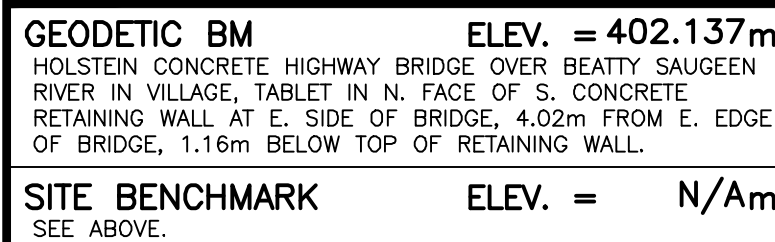
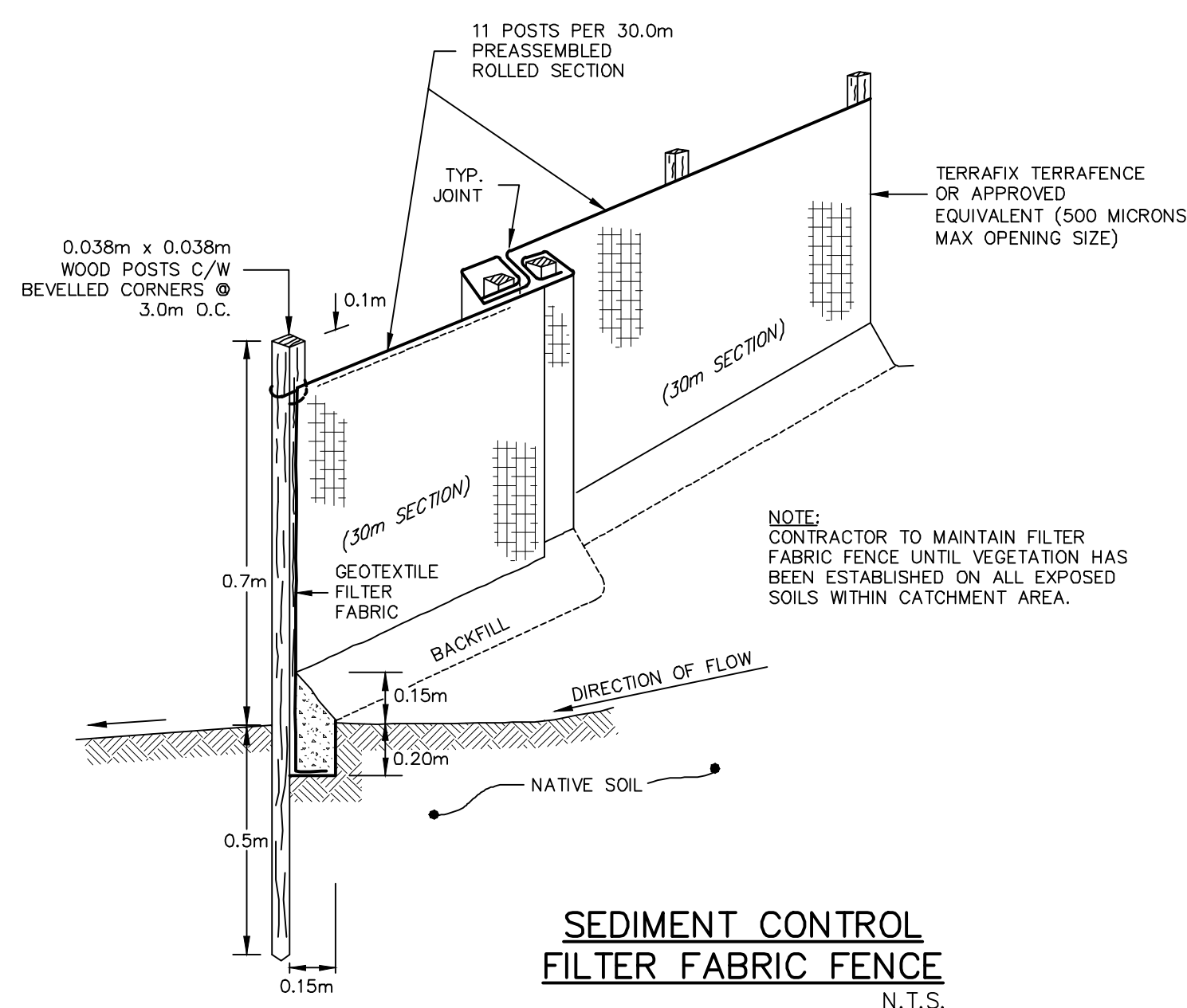
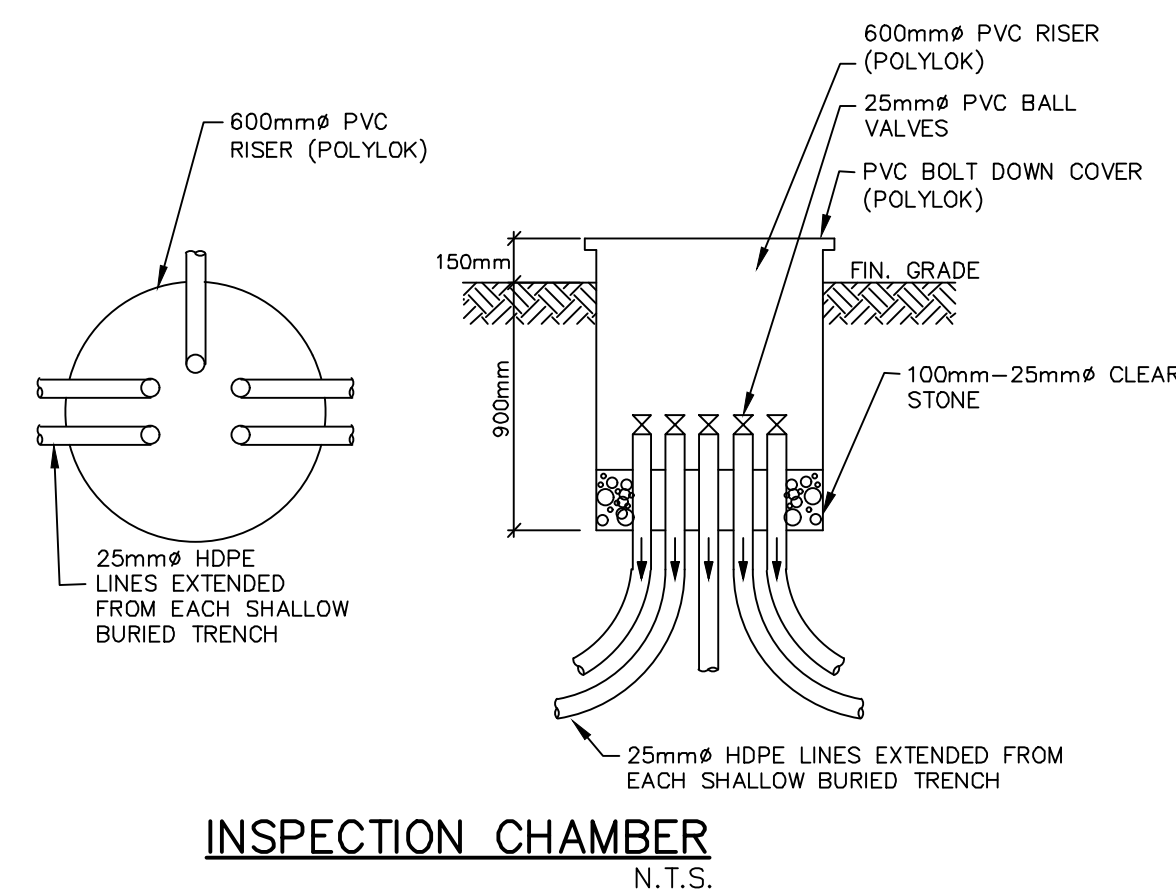
PROPOSED ON-SITE WASTEWATER SYSTEM

Project Manager A.TCHOUMATCHEV	Project No. 44550-100
Design By	Checked By
Drawn By AXB	Checked By JRS/SCG
Surveyed By MTE/OLS	Drawing No.
Date Oct.21/21	C3.1
Scale 1:400	
	Sheet 2 of 3

Drawing #8 Dated March 16, 2022

- 1.1. THIS PLAN NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
- 1.2. ANY THIS PLAN IS TO BE USED FOR SERVING AND GRADING ONLY; ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THIS PLAN MUST NOT BE USED TO SITE THE PROPOSED BUILDING.
- 1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
- 1.4. THIS PLAN NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF MTE CONSULTANTS INC.
- 1.5. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:
 - 1.5.1. CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.
 - 1.5.2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - 1.5.3. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
- 1.6. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
- 1.7. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WILL BE INSTALLED BY MUNICIPALITY UPON APPLICATION BY OWNER AT OWNER'S EXPENSE. THE CONTRACTOR IS TO MAKE CONNECTION TO THE SERVICES AND RESTORE ALL AFFECTED PROPERTY TO ORIGINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL BOULEVARD AREAS.
- 1.8. ALL UNDERGROUND SERVICES ARE TO BE CONSTRUCTED IN FULL COMPLIANCE WITH THE ONTARIO PROVINCIAL BUILDING CODE (PART 7, PLUMBING), IN THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPTIONAL), IN CONJUNCTION WITH ALL LOCAL APPLICABLE CODES AND REGULATIONS, WHICH CODES AND REGULATIONS SHALL SUPERSEDE ALL OTHERS.
- 1.9. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED. INSPECTION AND TESTING OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE, DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. ENGINEER TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- 1.10. PLAN TO BE READ IN CONJUNCTION WITH MTE DESIGN REPORT (JUNE 11/21)
- 1.11. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM PLAN PREPARED BY MTE CONSULTANTS INC. AUGUST 03 2018.
- 1.12. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED AND VEGETATIVE COVER IS ESTABLISHED.
- 1.13. SITE SERVING CONTRACTOR TO TERMINATE ALL SERVICES 1.0 METER FROM FOUNDATION WALL.
- 1.14. FILTER FABRIC TO BE TERRAFIX 200R OR APPROVED EQUIVALENT.
- 1.15. MAXIMUM GRASSED SLOPE TO BE 3:1. SLOPES GREATER THAN 3:1 TO BE LANDSCAPED WITH LOW MAINTENANCE GROUND COVER.
- 1.16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF THE LOCAL MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 1.17. THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- 1.18. CONTRACTOR TO MAINTAIN A 'CONFINED TRENCH CONDITION' IN ALL SEWER AND SERVICE TRENCHES.
2. **EROSION AND SEDIMENT CONTROL**
 - 2.1. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES AS SHOWN PRIOR TO CONSTRUCTION AND MAINTAIN IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED AND VEGETATIVE COVER IS ESTABLISHED.
 - 2.2. ALL SILT FENCING TO BE INSTALLED PRIOR TO ANY AREA GRADING, EXCAVATING OR DEMOLITION COMMENCING.
 - 2.3. EROSION CONTROL FENCING TO BE INSTALLED AROUND BASE OF ALL STOCKPILES.
 - 2.4. EROSION PROTECTION TO BE PROVIDED AROUND ALL STORM AND SANITARY MIHs AND CDS.
 - 2.5. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SHOWN ON THE PLAN. FENCING IS CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
 - 2.6. EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN REESTABLISHED.
 - 2.7. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER AND THE DEPARTMENT OF PUBLIC WORKS.
 - 2.8. CONTRACTOR TO CLEAN ROADWAYS AND SIDEWALKS OF ALL SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.
3. **MAINTENANCE RECOMMENDATIONS**
 - 3.1. REMOVE SEDIMENT AND CONTAMINANTS ANNUALLY AND REINSTATE STORM WATER MANAGEMENT FACILITY ACCORDING TO THE DESIGN OUTLINED ON THIS PLAN.
 - 3.2. EROSION CONTROL STRUCTURES TO BE MONITORED REGULARLY AND ANY DAMAGE REPAIRED IMMEDIATELY. SEDIMENTS TO BE REMOVED WHEN ACCUMULATIONS REACH A MAXIMUM OF 1/3 THE HEIGHT OF THE FENCE.
 - 3.3. OWNER'S REPRESENTATIVE TO MONITOR EROSION CONTROL STRUCTURES FOR ENDS. FENCING IS INSTALLED AND MAINTENANCE IS PERFORMED TO TOWNSHIP REQUIREMENTS.

- 1.1 ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE MOST RECENT REVISION OF THE ONTARIO BUILDING CODE.
- 1.2 THE SEPTIC TANK MUST CONFORM WITH THE ONTARIO BUILDING CODE, DIVISION B, PART 8, SECTION 8.5.2.1 AND BE APPROVED BY THE ONTARIO BUILDING CODE FOR INSTALLATION. TANKS MUST BE RATED FOR TRUCK LOADING AS APPROVED BY ENGINEER.
- 1.3 FINAL LOCATION AND ELEVATION OF ALL WORKS TO BE ESTABLISHED ON-SITE BY THE ENGINEER.
- 1.4 THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS.
- 1.5 CONTRACTOR TO ARRANGE FOR ENGINEER/HEALTH UNIT INSPECTIONS OF SYSTEM. THREE (3) INSPECTIONS REQUIRED AS PER SEWAGE SYSTEM INSPECTIONS SCHEDULE.
- 2.0 **PIPING**
- 2.1 FOREMAN SHALL BE DR-17 HDPE PIPE COMPLETE WITH FUSED JOINTS. APPROVED ALTERNATIVE: SDR28 PVC PIPE WITH BELL AND SPIGOT JOINTS (PEX CYCLE-TOUGH).
- 3.0 **TANKS**
- 3.1 PRECAST CONCRETE TANKS, INSTALLED AND LEVELLED AS PER MANUFACTURER'S SPECIFICATIONS, ELEVATION SET TO RECEIVE GRAVITY DRAINAGE (MINIMUM 1.0% SLOPE) FROM BUILDING SEWER.
- 3.2 EXTEND ALL ACCESS HATCHES TO GRADE WITH MINIMUM 900mm PRECAST CONCRETE. ALL PIPING CONNECTIONS AND RISER JOINTS WITH NON-SHRINK GROUT. MINIMUM DEPTH OF COVER ABOVE TOP OF TANK TO BE 300mm
- 3.4 COVER SHALL BE SOLID CAST IRON MANHOLE FRAME AND COVERS WITH NO OPENINGS.
- 4.0 **PUMPS**
- 4.1 PUMP CONTROL PROGRAMMING AND ELECTRICAL EQUIPMENT BY WASTEWATER CONTRACTOR. PROVISION OF ALL CONTROL WIRING AND POWER WIRING FROM BUILDING TO PUMPS INCLUDING PROVISION OF DISCONNECT BY WASTEWATER CONTRACTOR. DISCONNECT SHALL BE LOCATED ON EEMAC 4 LOCKABLE PANEL ON EXTERIOR OF BUILDING.
- 4.2 POWER SUPPLY TO DISCONNECT BY GENERAL CONTRACTOR'S ELECTRICAL SUB-CONTRACTOR. CONTROL WIRING AND CONTROL PANEL BY WASTEWATER CONTRACTOR.
- 4.3 TWO (2) OF EACH SUBMERSIBLE EFFLUENT PUMPS SHALL BE PROVIDED. PUMPS SHALL ALTERNATE DUTY WITH ONE (1) PUMP BEING FULLY REDUNDANT.
- 4.4 DUPLEX ALTERNATING CONTROL SYSTEM WITH ON/OFF/HIGH LEVEL FLOAT SWITCHES, DATA LOGGER FOR PUMP RUN TIMES AND ALARM EVENT LOG VISUAL AND AUDIBLE ALARM SIGNALS. ALL SYSTEM CONTROLS AND ALARMS ARE REQUIRED COMPLETE WITH ALARM SILENCER BUTTON. PROVIDE EYE FITTINGS PER ELECTRICAL CODE. PUMP TO TIMER OPERATED BY HIGH FLOAT SYSTEM. LOWER FLOAT IS TIME OFF/PUMP OFF, MIDDLE FLOAT IS TIME ON, HIGH FLOAT IS HIGH LEVEL ALARM AND PUMP ON, ADJUSTABLE TIMER TO RUN PUMP A VARIABLE NUMBER OF MINUTES (IE 10 MINUTES PER HOUR). FINAL TIMER AND FLOAT LEVEL SETTINGS TO BE ESTABLISHED BY ENGINEER.
- 5.0 **T-BARS**
- 5.1 PROVIDE STEEL T-BARS (40#s), 1.2m LONG DRIVEN VERTICALLY TO 0.15m BELOW GROUND SURFACE AT ALL CORNERS OF DISPOSAL BED AS PER OBC 8.7.2.2 FROM SURFACE DETECTION.



NOTE TO CONTRACTOR :

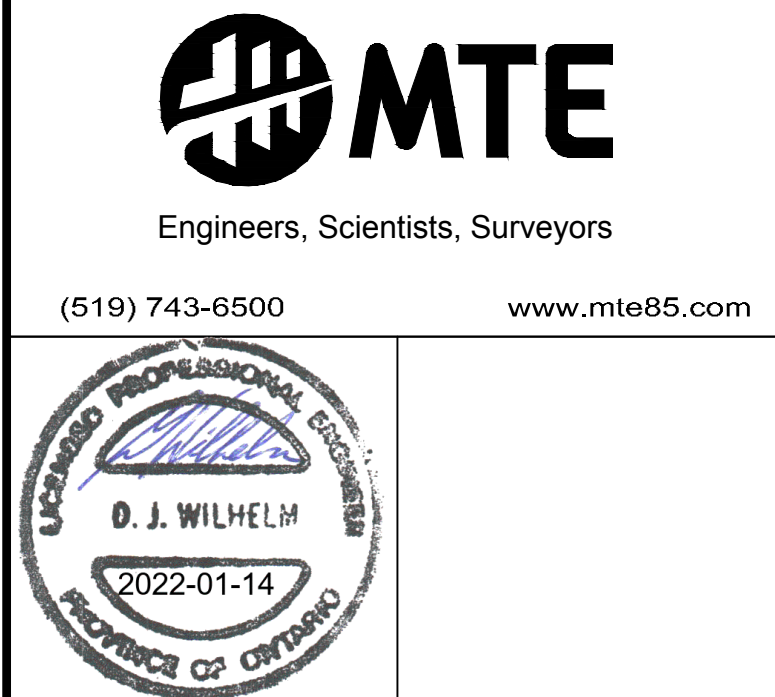
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THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT W.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ARRANGE, FOR INSPECTION.

8.			
7.			
6.	REISSUED FOR SPA	D/W	JAN. 14/22
5.	ISSUED FOR PERMIT	D/W	DEC. 15/21
4.	ISSUED FOR SPA	D/W	NOV. 12/21
3.	ISSUED FOR ECA APPLICATION	D/W	JUNE. 11/21
2.	ISSUED FOR PRE-CONSULTATION	D/W	NOV. 02/18
1.	ISSUED FOR INFORMATION	LY	SEPT. 10/18
No.	REVISION	BY	DATE



CLIENT	SRM ARCHITECTS INC.	
279 KING STREET WEST SUITE 200	KITCHENER	
PROJECT	EGREMONT COMMUNITY SCHOOL NEW CHILDCARE FACILITY	
GREY ROAD 109	HOLSTEIN; SOUTHGATE	
DRAWING		

Project Manager A.TCHOUMATCHEV	Project No. 44550-100
Design By	Checked By
Drawn By AXB	Checked By JRS/SCG
Surveyed By MTE/OLS	Drawing No. C3.2
Date Oct.21/21	
Scale AS NOTED	Sheet 3 of 3