

**Proposed County Official Plan  
Amendment  
File: 42-07-090-OPA-26  
Ridgeview Lumber, Southgate**

Public Meeting – March 26, 2025

By: Cassandra Dillman, Intermediate Planner

## Confirmation of Public Notice

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## The Development Review Process

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## Application Summary

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## Comments Received



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## Communications

Public Meeting

- An opportunity to learn more about the proposed development
- Ask questions or make statements either in favour of or in opposition to the proposed development
- By law, a municipality must hold a public meeting for the proposed Official Plan Amendment(s) and Zoning By-law Amendment

- Notice of Complete Applications and Public Meeting was circulated on March 5, 2025 by mail to properties within 120 metres of the subject property and by posting a notice on the property
- An amended notice was also circulated on March 12, 2025 with additional clarification




**NOTICE OF COMPLETE APPLICATIONS AND PUBLIC MEETING**

**What:** The County and Township are seeking input on development applications within 120 metres of your property. The proposed applications consider the expansion of an existing On-farm Diversified Use (lumber yard). More details about the applications are provided below.

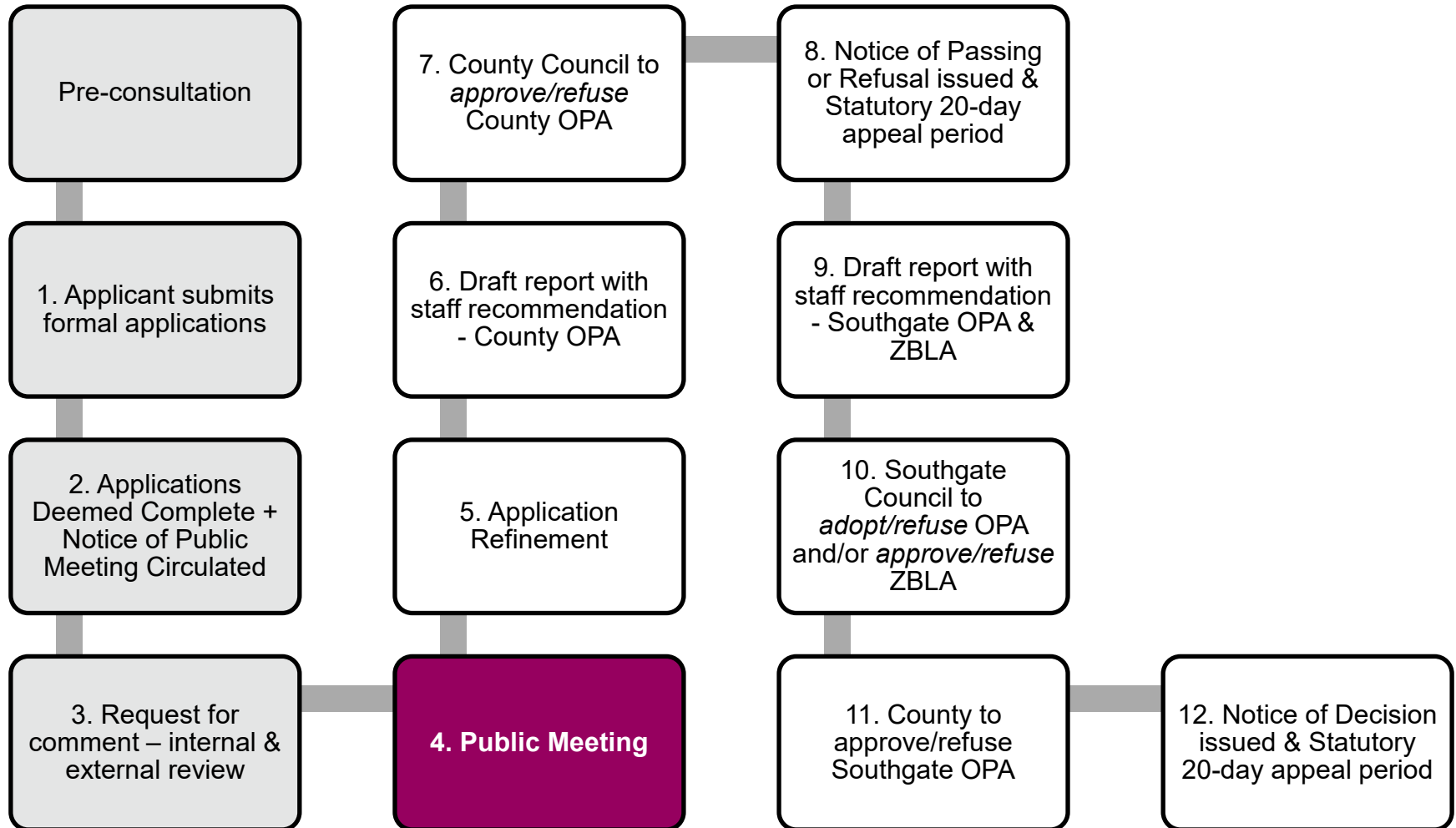
**Site:** 185673 Grey Road 9 (Lot 18, Concession 13, geographic Township of Proton, now in the Township of Southgate). The subject lands are approximately 41.8 hectares.

**Map of Subject Lands:**

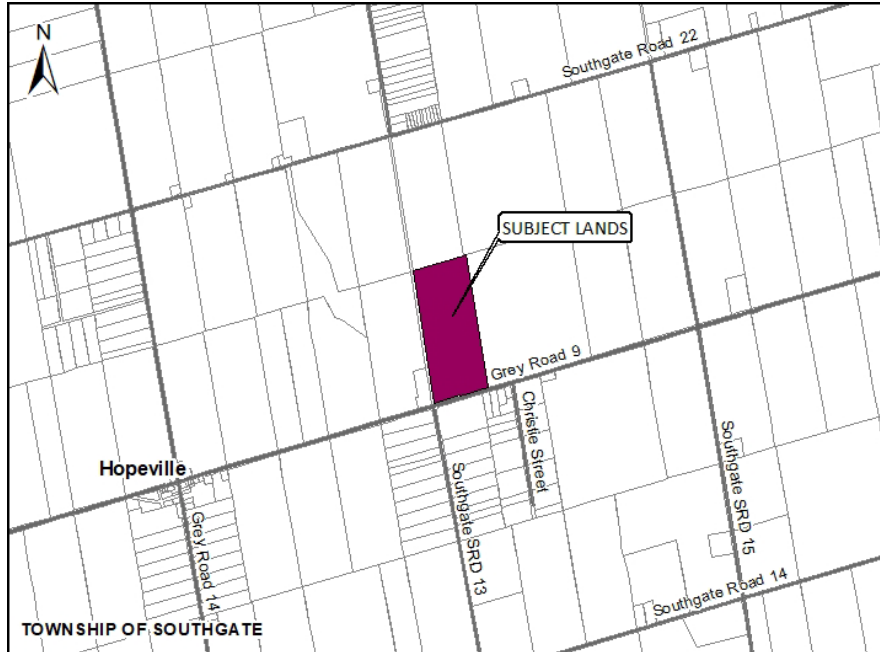


Public Meeting Date: **Wednesday, March 26, 2025, at 10:30am**

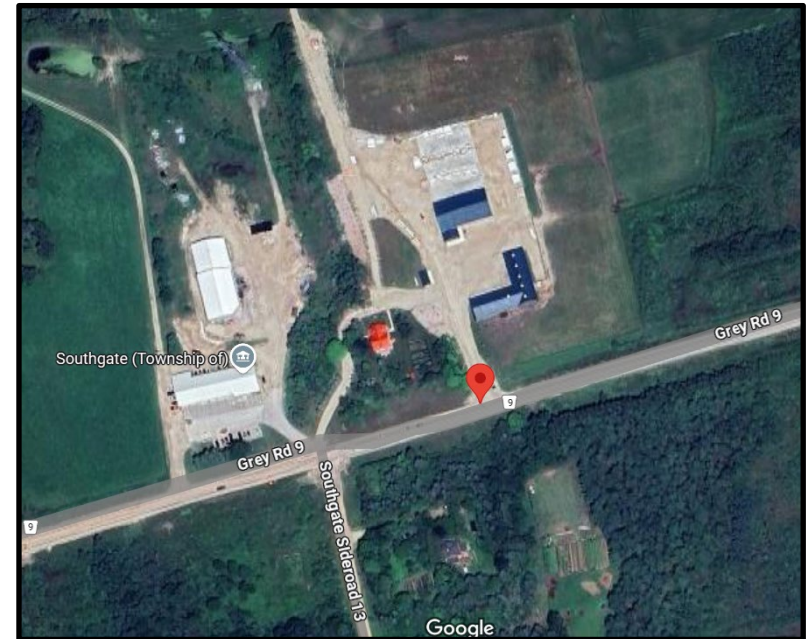
# Development Review Process - Summary



## Subject Lands



## Aerial Image



<b>Municipal Location:</b>	185673 Grey Road 9
<b>Area:</b>	41.8 ha (103 acres)
<b>Agent:</b>	Gillian Smith, MHBC Planning
<b>What is being proposed?</b>	<ul style="list-style-type: none"><li>• An expansion of an existing On-farm Diversified Use (lumber yard), including larger outdoor storage area and new storage building</li></ul>

## Official Plan Designation

Rural (white) and Hazard Lands (green)



## Proposed Amendment

Rural, Rural – Site Specific, and Hazard Lands

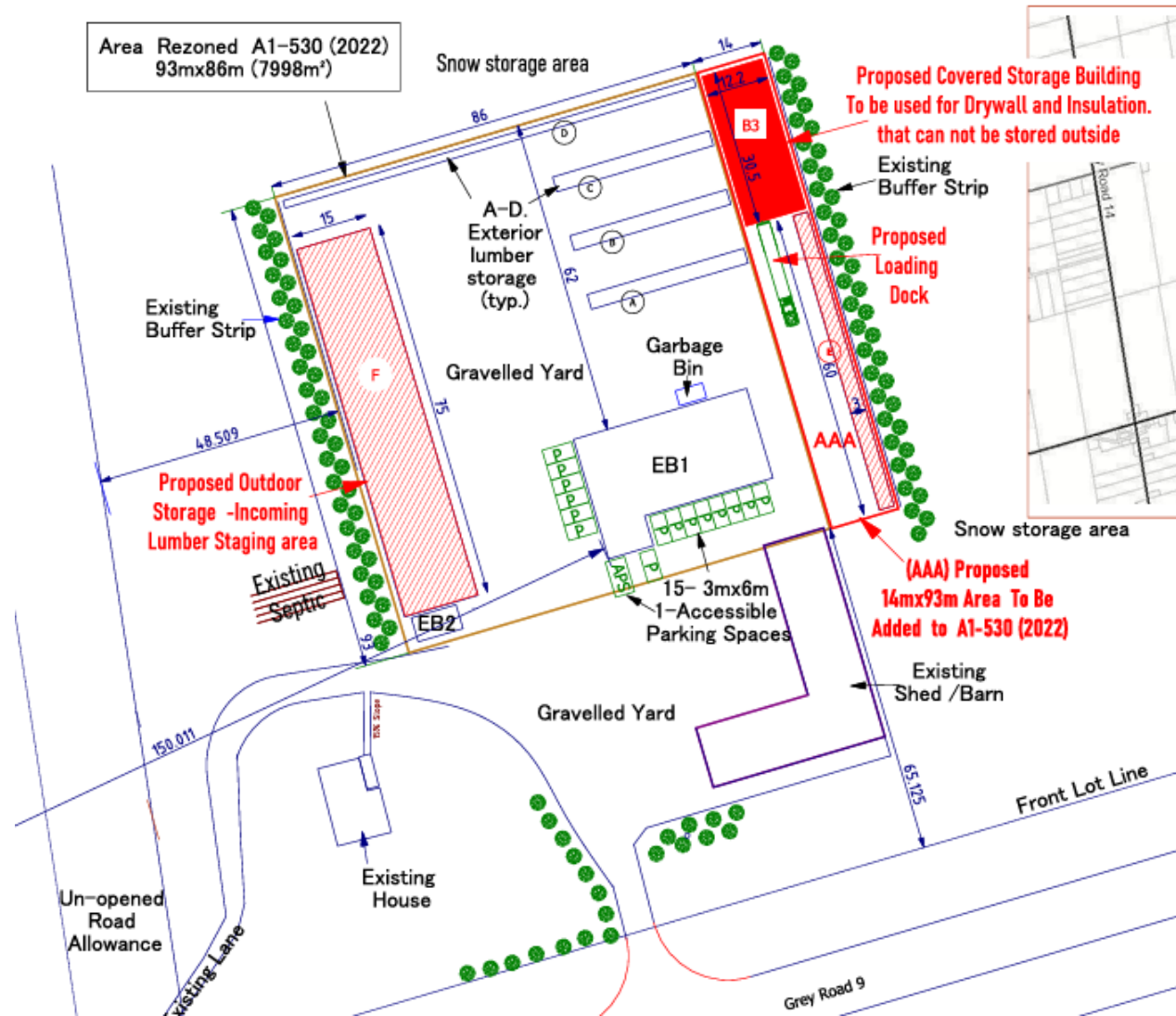


OFDU Criteria	Permitted	Proposed
Rural land use, property >20ha		
Maximum Size (including all buildings, laneways, parking, outdoor storage areas, etc.)	8000 m <sup>2</sup> or 2% of 40 ha	<b>9300 m<sup>2</sup></b> or ~2.25% of 41.8 ha
Maximum Gross Floor Area (of all buildings)	1600 m <sup>2</sup>	1132 m <sup>2</sup>

**Proposed Site-Specific Exception:** *An expansion of the existing on-farm diversified use (lumber yard) shall be permitted. The on-farm diversified use shall not exceed 2.25% of the total size of the property or to exceed a maximum combined area of the use of 9,300 square metres in size.*



# Site Plan



	Existing Development	Proposed	Total
Buildings	750 m <sup>2</sup> (workshop, power room)	<b>373 m<sup>2</sup></b> (covered storage)	1123 m <sup>2</sup>
Outdoor Storage	500 m <sup>2</sup>	<b>1305 m<sup>2</sup></b>	1805 m <sup>2</sup>

- A proposed Local Official Plan Amendment application and Zoning By-law Amendment Application are required to increase the maximum zoned area (to 9300 m<sup>2</sup>), to increase the building footprint (to 1123 m<sup>2</sup>) and enlarge the outdoor storage area (to 1305 m<sup>2</sup>)

## Agency Comments

- Risk Management Official, GSCA
- Saugeen Valley Conservation Authority
- Historic Saugeen Métis
- Enbridge Gas
- Township of Southgate Public Works Department

## Public Comments

- None

1. Information about the proposed development is posted on the County website:

<https://www.grey.ca/government/land-use-planning/planning-and-development-projects/ridgeview-lumber-opa>

2. Request to be notified of a decision by contacting staff.
3. Additional comments or questions can be sent to:



**Cassandra Dillman**

County of Grey Planning Department  
595 9<sup>th</sup> Avenue East  
Owen Sound, ON, N4K 3E3



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